

NOTICE OF MEETING
Building Appeals & Advisory Board
Monday, August 19, 2019
Administration Conference Room –4th FLOOR
285 UPTOWN BLVD., BUILDING 100
7:00 p.m.

MISSION STATEMENT: The mission of the City of Cedar Hill is to deliver the highest quality municipal services to our citizens and customers consistent with our community values.

VISION STATEMENT: We envision Cedar Hill as a premier city that retains its distinctive character, where families and businesses flourish in a safe and clean environment.

- I. Call meeting to order
- II. Approve the meeting minutes for June 17, 2019 and July 22, 2019.
- III. Review and consider the request by Brandon Chilcutt of Cowtown Graphics & Signs for an exception to City of Cedar Hill Code of Ordinance Section 4-244(2)(b)1&4, attached signs are limited to 100 square feet per façade; maximum single letter or logo is limited to 45 inches when located 21 – 48 feet above the ground with a limit of 36 inches for all other letters.
- IV. Review and consider declaring the property located at Waterford Oaks Garden Homes Phase 4; Block 7; Lot 20, more commonly known as 1118 Reitz a public nuisance and direct staff to have it abated.
- V. Review and consider declaring the property located at Ellis C Thomas Abst 1472 Pg 410 Tr 2, more commonly known as 609 Chambers St. a public nuisance and direct staff to have it abated
- VI. Review proposed changes to the 2018 International Fuel Gas Code.
- VII. Adjourn



Building Inspection
285 Uptown Blvd., Bldg. 100
Cedar Hill, TX 75104
O. 972-291-5100 Ext. 1090
F. 972-291-7250

I certify that the above notice of meeting was posted in accordance with the Texas Open Meetings Act on the 14th day of August 2019.

Jeanette Cosme
Permit Tech/Executive Assistant

This facility is wheelchair accessible. Handicapped parking is also available. To arrange for sign interpretative services or special accommodations, please call 972-291-5100 Ext. 1081 or (TDD) 1-800-RELAY TX (1-800-735-2989), at least 48 hours in advance of the meeting.

"PURSUANT TO SECTION 30.07, PENAL CODE (TRESPASS BY LICENSE HOLDER WITH AN OPENLY CARRIED HANDGUN), A PERSON LICENSED UNDER SUBCHAPTER H, CHAPTER 411, GOVERNMENT CODE (HANDGUN LICENSING LAW), MAY NOT ENTER THIS PROPERTY WITH A HANDGUN THAT IS CARRIED OPENLY"

"CONFORME A LA SECCIÓN 30.07, DEL CÓDIGO PENAL (ENTRADA SIN AUTORIZACIÓN POR TITULAR DE LICENCIA CON UNA PISTOLA VISIBLE), UNA PERSONA CON LICENCIA BAJO EL SUBCAPÍTULO H, CAPÍTULO 411 DEL CÓDIGO DE GOBIERNO (LEY DE LICENCIAS DE PISTOLAS), NO PUEDE ENTRAR EN ESTA PROPIEDAD CON UNA PISTOLA VISIBLE"

PREMIER STATEMENTS

Cedar Hill is Safe

Cedar Hill is Clean

Cedar Hill has Vibrant Parks and Natural Beauty Cedar Hill has Excellent, Safe and Efficient Mobility

Cedar Hill has a Strong and Diverse Economy Cedar Hill has Texas Schools of Choice

**Building Appeals & Advisory Board
Meeting Minutes
Monday, June 17, 2019
Planning/Code Conference Room – 2nd FLOOR
285 UPTOWN BLVD., BUILDING 100**

Members Present

Joe Pitt
Jack Frost
Deborah Fulwiler
Mark Dale
Mike Bechdol

Staff Present

Gail Lux

Absent

Tom Tahnaey
Jeanetta Dagley
David McDaniel

I. Call meeting to order

Mr. Joe Pitt called the meeting to order at 7:02 pm with a quorum present.

II. Approve the meeting minutes for May 20, 2019.

Mr. Jack Frost made a motion to approve the minutes as written. The motion was seconded by Mrs. Deborah Fulwiler. The motion was approved unanimously.

III. Review and consider the request by Rhonda H Montee for a variance to the City of Cedar Hill Code of Ordinance Section 4-302 (8) Gates designed for vehicular access shall be set back from property or rights of way line a minimum of twenty feet (20’), if gates are to be of the sliding type, they shall operate (ie. Slide) fully within the property into the which the gates give access, and they shall not encroach any neighboring property line or street/alley right of way line.

Rhonda Montee spoke I favor of the request for the variance. Mrs. Montee explained it would be a hardship if they could not put the gate at the property line because it would make the yard unusable if it had to be twenty feet off the property line. She explained that there is currently ten feet between the edge of the road and the property line. She explained that the gate would be totally inside the property line and would slide to the side and not enter into the right of way. The fence and gate would make it safer for the children playing and the pets to remain in the yard.

Mrs. Deborah Fulwiler mentioned that the reason there is a twenty-foot setback requirement is to prevent vehicles from obstructing traffic when entering the property. A sliding gate is the only option to be able to operate without obstructing traffic.

Mr. Mike Bechdol made a motion to approve the exception to the requirement of twenty feet off the property line for all gates if a sliding motorized gate was installed and shall operate by remote. The motion was seconded by Mr. Jack Frost. The motion was approved unanimously.

IV. Adjourn

Mr. Mark Dale made a motion to adjourn. Mr. Jack Frost seconded the motion. The motion was approved unanimously.

**Building Appeals & Advisory Board
Meeting Minutes
Monday, July 22, 2019
Planning/Code Conference Room – 2nd FLOOR
285 UPTOWN BLVD., BUILDING 100**

Members Present

Joe Pitt
Jack Frost
Deborah Fulwiler
Mark Dale
Mike Bechdol
Jeanetta Dagley
David McDaniel

Staff Present

Gail Lux

Absent

Tom Tahnaey

I. Call meeting to order

Mr. Joe Pitt called the meeting to order at 7:02 pm with a quorum present.

II. Discuss HB852 and HB2439 and how it affects building code amendments adoption.

Mr. Gail Lux discussed what the two bills that will go into affect on September 1st and how this will affect how we adopt the building codes and amendments to these codes.

III. Adjourn

Mr. Mark Dale made a motion to adjourn. Mr. Jack Frost seconded the motion. The motion was approved unanimously.



**BUILDING APPEALS & ADVISORY BOARD
APPLICATION FORM**

APPL 216-2019

Existing Zoning: LR

Filing Date: 8/9/19

Owner KRG Cedar Hill Plaza, LP

Applicant Brandon Chilcutt

Address c/o 30 S. Meridian St. 1100
Indianapolis, IN 46201

Address Cowtown Graphics & Signs
5065 MLK Freeway, Fort Worth, TX 76119

Phone Number 317-577-5601

Phone Number 817.446.600

Email rlally@kiterealty.com

Email brandon.chilcutt@cowtownsigns.com

Address of Property Requesting Variance 428 East FM 1382

Lot _____ Block _____ Subdivision Plaza at Cedar Hill
Tract _____ Acres _____ Abstract _____ Survey _____

Building Description: Size 24,814 s.f. Occupancy Type Retail

Occupancy Load _____ Type of Construction New Sign Construction

Use _____

Explain Variance Desired: Requesting variance on proposed exterior wall sign sizing.
To allow a sign 291.66 square feet and letters and logo to
be 59" in height

Code: Sign Code Code of Ordinance Section: 4-244 (a)(1)(4)

Requirements: Attached signs are limited to 100 square feet per facade
maximum single letter or logo is limited to 36" when located
21'-48" above the ground with a limit of 36" for all other
letters.

I am the owner of the herein described property and Brandon Chilcutt is
authorized to file this application on my behalf. (Applicant)

Brandon Chilcutt
Applicant

Richard S. Lally
Richard S. LALLY Owner

x Sr. VP of Construction - Kite Realty Group

Variance Fee: \$150.00

Attach Justification Material

a structural part of a building, whether or not such fence, railing or wall is on the property line.

- (11) Subject to the Subsection 14 herein, no sign shall be allowed which moves by any means.
- (12) The use of exposed tubes which contain luminescent inert gases, including, but not limited to, neon, argon and krypton, and which are visible from the exterior of structures, is specifically prohibited except as an attached sign which shall conform to this chapter.
- (13) It shall be unlawful for any person to display upon any sign any obscene, indecent or immoral matter.
- (14) Vehicular signs are prohibited except for the following:
 - a. Vehicles of the town.
 - b. Vehicles owned and operated by another governmental entity.
 - c. The primary purpose of the vehicle on which the vehicular sign is located is not for display of the sign.
 - d. The signs are painted upon or applied directly to an integral part of the vehicle.
 - e. The vehicle on which the vehicle sign is located is not used primarily as static displays advertising a product or service.
- (15) Projecting Signs.
- (16) Decorative Flags and pennants
- (17) Billboards shall not be permitted.
- (18) Prohibition of New Off-premise Signs. From and after the effective date, no new construction permit shall be issued for the erection of an off-premise sign, including but not limited to a new off-premise CEVMS or the conversion of an existing non-CEVMS off-premise sign to a CEVMS, within the Sign Code Application Area.

Sec. 4-244. Standards.

All signs regulated by this division and erected from and after March 12, 1991, shall meet the standards imposed herein. Signs which were in existence and in place on such date and which meet the standards imposed by the Chapter shall be classified as "conforming signs." Signs which were in existence and in place on such date and do not meet the standards imposed by this Chapter shall be classified as "nonconforming signs." The maximum sign area prescribed herein shall be applied to a sign with one (1) face. A sign constructed with more than one (1) face shall contain in the aggregate of all faces not more than twice the maximum area prescribed. The maximum interior angle between sign faces shall be ninety (90) degrees. Sign standards shall be as follows:

(1) *Design requirements:*

- a. *Size:* The area of signs shall be measured by the smallest square, rectangle, circle or combination thereof which will encompass the entire sign. The maximum size limitations shall apply to each side of the sign individually, but exclude the base or structural support members. See definition of sign area calculation.
- b. *Lighting:* Signs may be illuminated, subject to the following restrictions: Lights which are not effectively shielded so as to prevent beams or rays of light from being directed at any portion of the roadway and which cause glare or effectively impair or otherwise interfere with any driver's operation of a motor vehicle are prohibited.
- c. *Height:* The height of a sign shall be measured as follows:
 - 1. Ground or pole sign within one hundred (100) feet of a street abutting the property on which the sign is located: From the top of the curb to the nearest street adjacent thereto or, if there is not curb, from a point six (6) inches above the edge of the road surface to the top of the sign structure.
- d. *Construction:* All signs constructed according to this division will be allowed no more than two (2) sides:
 - 1. All signs greater than ten (10) feet in height must have construction drawings with an engineer's seal of a licensed, professional engineer, and such drawing shall be submitted to the city with the application for a permit. All component parts and materials, as well as the completed structure, shall have tolerances and strength of at least thirty (30) pounds per square foot.
 - 2. An electrical sign or signs which require electric power must have the Underwriters Laboratories (UL) label.

(2) *Location and spacing.*

- a. Permanent detached signs shall be in compliance with the following table: See Attachment A, incorporated herein as if fully set forth.
- b. Attached signs shall be installed in compliance with the following schedules:
 - 1. An attached sign located at a height up to thirty-six (36) feet or less, the sign area is limited to two (2) square feet of sign

area for each lineal foot of building frontage not to exceed one hundred (100) square feet.

2. An attached sign located at a height of thirty-six (36) feet shall be permitted an increase in maximum effective area. Such increases shall not exceed four (4) square feet in effective area for each additional one (1) foot of height above thirty-six (36) feet measured from the base of the sign.
3. Attached signs may be located on each façade; however, the sum of the effective area of all attached signs shall not exceed twice the allowable effective area as specified in above paragraphs (a) and (b).
4. Maximum letter/logo height of attached signs shall be determined by the following schedule (the sign height shall be measured from the base of the sign to the ground):

Sign Height (feet)	Maximum Letter/Logo Height (inches)
0-20	30
21-48	36
49-100	48

Letter heights in excess of the amounts stated shall be approved only by the sign review board of appeals. The above table represents the maximum letter and/or logo height in each individual sign height category. Where the sign is totally composed of individual mounted letters, either one (1) letter or logo may be twenty-five (25) percent taller than the specified maximum letter/logo height.

5. A metal back is required for all attached wall signs. Wood back or faces are prohibited.
6. There shall be only one (1) sign for each façade for each tenant.
7. No attached sign shall extend above the roof or façade height.
8. Window signs: Signs in windows facing public right-of-way are limited to forty (40) percent of the window area per façade.
9. Directional signs attached to the building shall not count against the sign area or number of signs listed above.

10. Special exceptions:

A. Buildings larger than thirty thousand (30,000) square feet and with a minimum setback from the street of one hundred (100) feet will be allowed attached signs that are in compliance with the following:

1. One attached sign will be limited in area to seven and one-half (7.5) percent of the front façade of the building. For each additional sign placed on the building the maximum amount of sign face total for the building façade will be reduced by one-half (1/2) percent.
2. Maximum letter/logo height shall be limited to the following:
 - (a) Buildings with a setback of one hundred (100) to one hundred fifty (150) feet a maximum letter height of five (5) feet.
 - (b) Buildings with a setback of one hundred fifty-one (151) to two hundred (200) feet a maximum letter height of six (6) feet.
 - (c) Buildings with a setback of two hundred (200) to three hundred (300) feet a maximum letter height of eight (8) feet.
 - (d) Buildings with a setback of three hundred (300+) feet a maximum letter height of ten (10) feet.
3. This exception shall apply to only one (1) façade of any building. All other facades shall comply with this section.
4. Free standing building with a minimum building foot print of 75,000 square feet is allowed attached sign on all sides that are in compliance with (1) and (2) above.

c. Menu Boards signs:

1. Shall be located behind the front of the building.
2. Will be limited to no more than two (2) signs per drive thru lane.



Building Permit Number SIGN 6152-2019

Electrical Permit Number _____

Code Enforcement Department

285 Uptown Blvd., Cedar Hill, TX 75104

O. 972.291.5100 X1090

F. 972.291.7250

APPLICATION FOR SIGN PERMIT

Date 7/19/2019

Address for the sign 428 E FM 1382

Business Name for the sign Total Wine

Location of the sign on the property Front Elevation of Building

Size of the sign 8' 4 1/8" H x 35' W

Value of the sign 5000

Sign Company Name Cowtown Graphics & Signs

Sign Company Address 5065 Martin Luther King Fwy, FW, TX 76119

Signature of the Applicant Peyton McMinn

Email for the Applicant (required) graphics@cowtownsigns.com

Name of Electrical Contractor Cowtown Graphics & Signs

Required attachments

Sketch property with adjacent streets and indicate location of sign.

1. Sketch a front view of sign with exact dimensions indicated, including elevation from surface of ground, support and illumination.

Total Wine

SPIRITS • BEER & MORE

**428 EAST FM 1382
CEDAR HILL, TX 75104**

DRAWING NO.

028869 REV 2

REVISIONS

DATE:	REVISION # & DESCRIPTION	DESIGNER
5-9-19	1. DELETED THE REPLACEMENT FACES FOR THE MIDDLE PYLON, ADDED BANNERS TO SIGN PACKAGE	THW
6-27-19	2. ADDED BANNERS TO SIGN PACKAGE, MOUNTING DETAILS, INFO ON PYLON FACES	THW







ADVANCE SIGN GROUP

800.861.8006
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SUMMARY OF SIGNAGE

SIGN	GRAPHIC	DESCRIPTION	SQ FT
1.0		<ul style="list-style-type: none"> - STOREFRONT ELEVATION - (1) ONE LED FACE LIT CHANNEL LETTERS - 5" DEEP - FLUSH MOUNT 	291.66
2.0		<ul style="list-style-type: none"> - (2) TWO SETS OF REPLACEMENT VINYL 	39.81
3.0		<ul style="list-style-type: none"> - (2) TWO SETS OF REPLACEMENT VINYL 	39.81
4.0		<ul style="list-style-type: none"> - TEMPORARY BANNERS - (2) TWO TOTAL - (1) ONE OF EACH DESIGN - WHITE BANNER MATERIAL - REINFORCED SEAMS & GROMMETS 	60 EA

SIGN CODE

Jurisdiction: City of Cedar Hill TX

Zoned: Local Retail

Sign Regulations:

(1) Sign allowed for each facade for each tenant

No attached sign shall extend above the roof or facade height.

Buildings larger than 30,000sf and with a minimum set back from teh street of 100ft will be allowed 1 attached sign limited in area to 7.5% of the front facade of the building. For each additional sign placed on teh building the maximum amount of sign face total for the building facade will be reduced by 1/2 percent.

Max letter logo height for buildings setback 300' or more is 10'

LL Criteria: TBD



NORTH

SITE MAP

NOT TO SCALE

Total Wine
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428 EAST FM 1382
CEDAR HILL, TX 75104

DRAWING NO.
028869

**SUM/
SITE**

**DATE OF
LAST CHANGE:**
6/27/19

REVISION NO.
2

APPROVALS THIS DRAWING SUPERCEDES ALL OTHER DOCUMENTS PROVIDED CONCERNING THE FABRICATION AND INSTALLATION OF THIS DESIGN. A SIGNATURE ANYWHERE ON THE DRAWING WILL BE TAKEN AS APPROVAL OF THE DESIGN AND SPECIFICATIONS AS NOTED.

CLIENT APPROVED SIGNATURE: _____ **DATE:** _____

DESIGN DOCUMENTATION: THIS DESIGN IS THE PROPERTY OF ADVANCE SIGN GROUP. NEITHER THE DRAWINGS NOR THE DESIGN MAY BE USED OR DISTRIBUTED WITHOUT APPROVAL OF ADVANCE SIGN GROUP.

CONSULTANT:
ANDY WASSERSTROM

PROJECT MANAGER:
BRIA STAIB

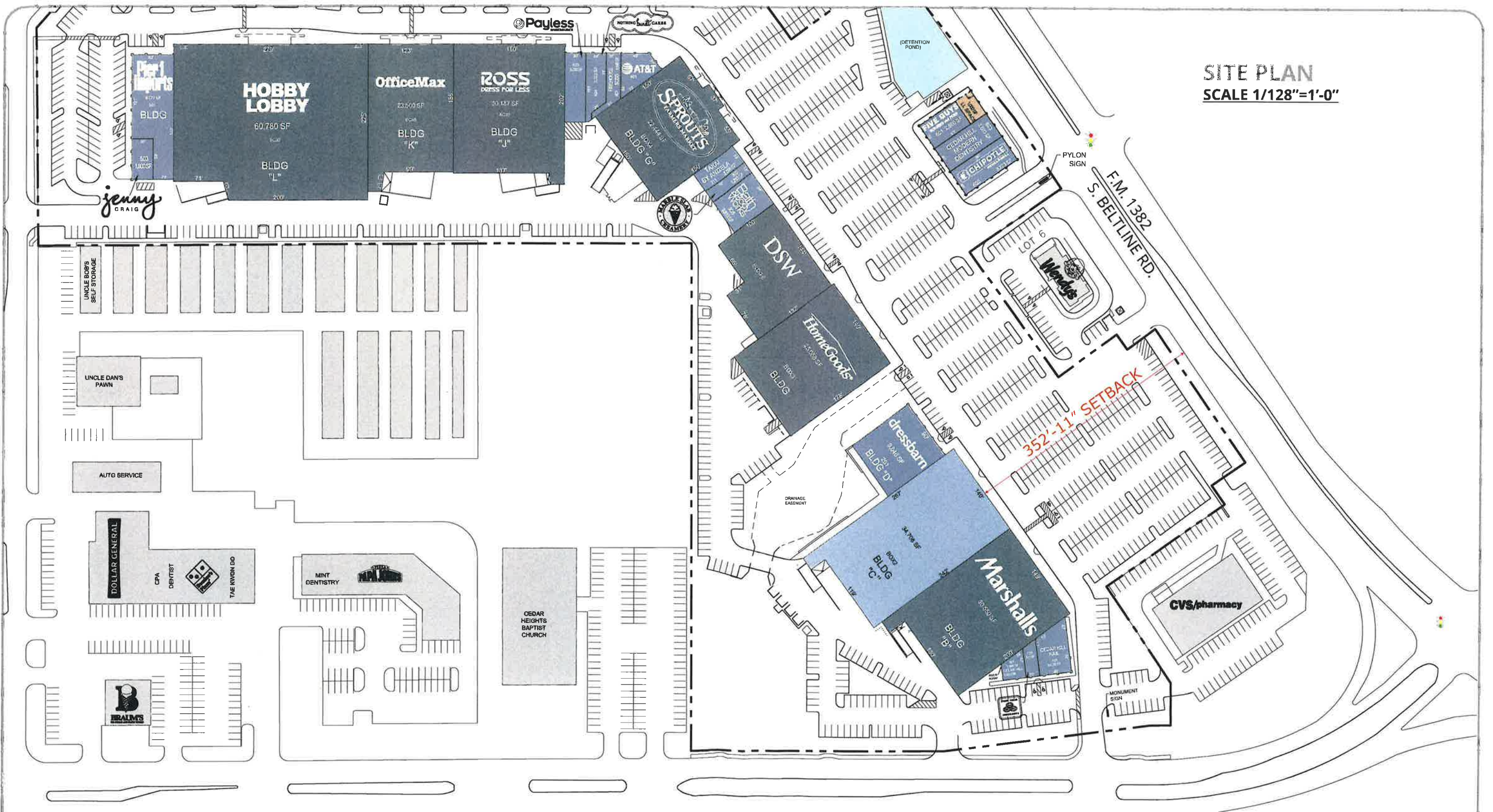
DESIGNER:
THW

FILE LOC:
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& MORE\MT. CEDAR HILLS
11-PRODUCTION FILES\028869 CDR

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 **UL** us



SITE PLAN
SCALE 1/128"=1'-0"

Total Wine
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428 EAST FM 1382
CEDAR HILL, TX 75104

DRAWING NO.
028869

DATE OF
LAST CHANGE:
6/27/19

SUM/
SITE

REVISION NO.
2

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DATE: _____

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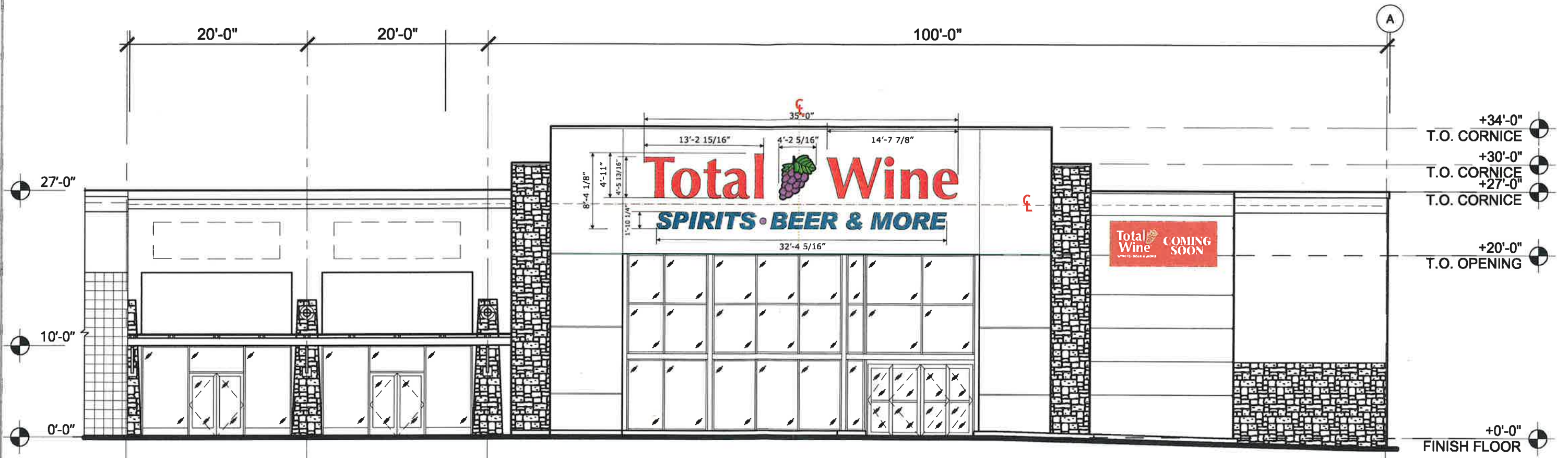
CONSULTANT:
ANDY WASSERSTROM
PROJECT MANAGER:
BRIA STAIB
DESIGNER:
THW

FILE LOC:
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& MORE\AT CEDAR HILL
11 PRODUCTION FILES\028869.DWG

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UL US



FRONT ELEVATION : PROPOSED

SCALE : 3/32" = 1'-0"

Total Wine
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 428 EAST FM 1382
 CEDAR HILL, TX 75104

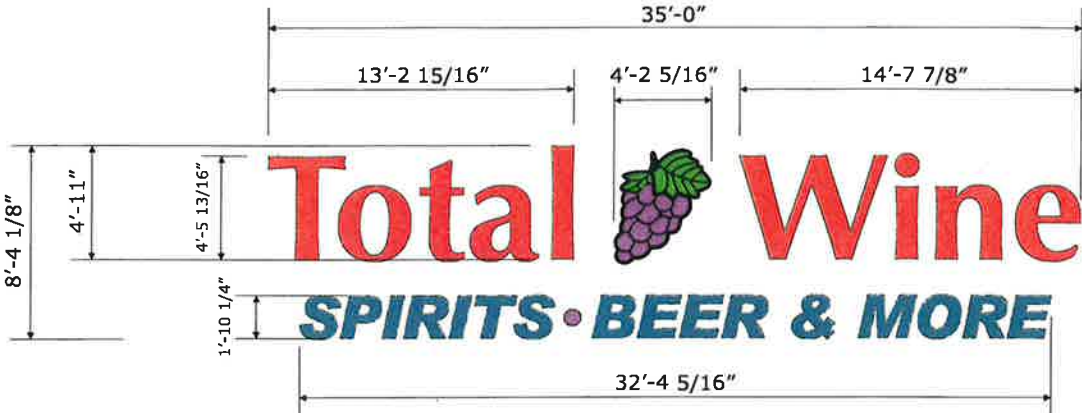
DRAWING NO.
028869
 ELEV

DATE OF
 LAST CHANGE:
 6/27/19
 REVISION NO.
2

APPROVALS
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CONSULTANT:
 ANDY WASSERSTROM
PROJECT MANAGER:
 BRIA STAIB
DESIGNER:
 THW
FILE LOC:
 SIGNAGE PROJECTS \ TOTAL WINE & MORE \ CEDAR HILL
 11 PRODUCTION FILES \ 028869.CDR

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(1) ONE REQUIRED FOR STORE FRONT ELEVATION

SCALE 1/8" = 1'-0"
291.66 SQUARE FEET

SIGN DETAILS

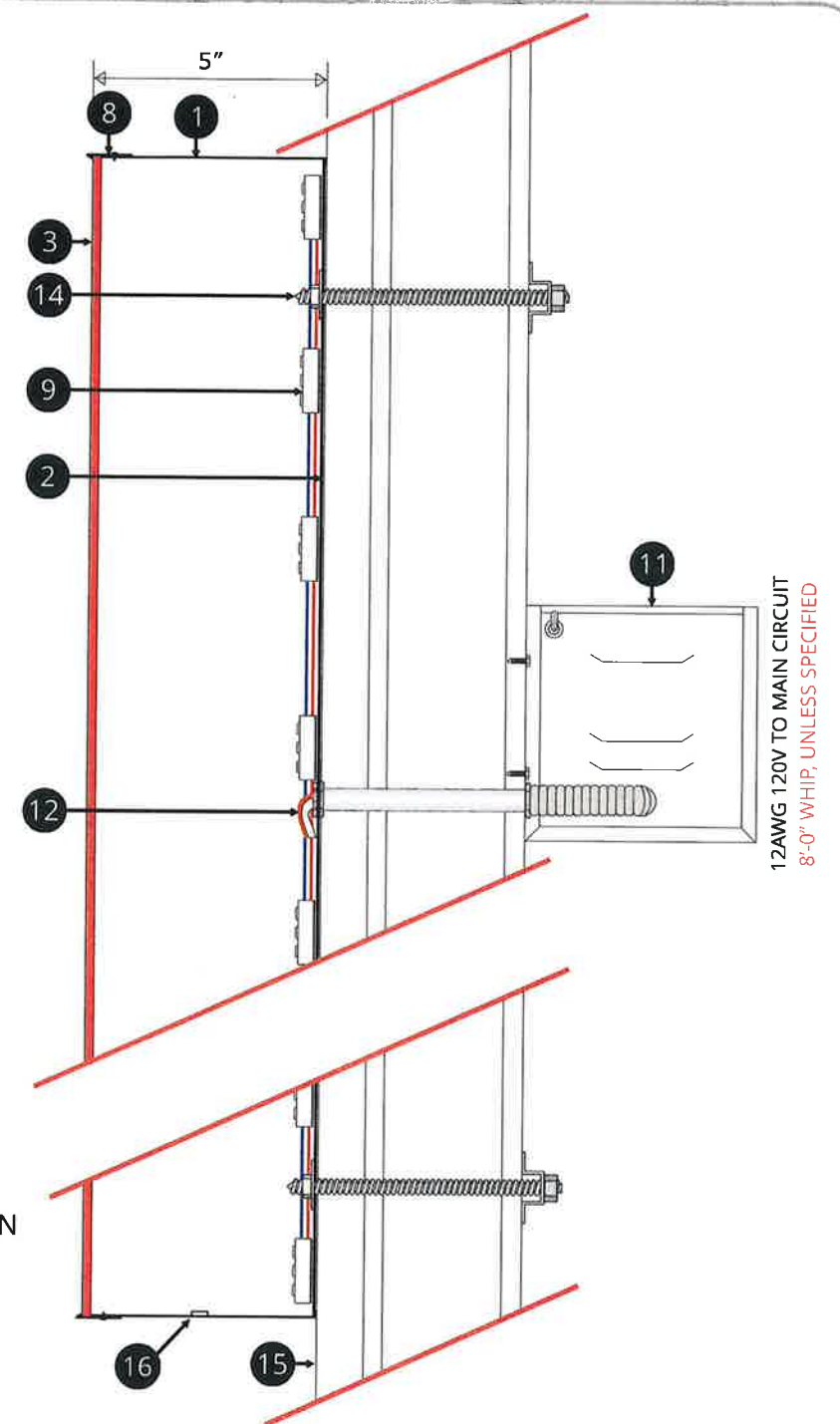
- 1 5" DEEP - .040" ALUMINUM RETURNS
OUTSIDE BLACK/INSIDE WHITE
- 2 .040" ALUMINUM BACKS
OUTSIDE WHITE/INSIDE WHITE
- 3 3/16" #2793 RED ACRYLIC FACES
- 4 3/16" 7328 WHITE ACRYLIC FACES W/ 3630-106 BRILLIANT GREEN PSV ON FIRST SURFACE
- 5 3/16" 7328 WHITE ACRYLIC FACES W/ 3630-128 PLUM PURPLE PSV ON FIRST SURFACE
- 6 3/16" 7328 WHITE ACRYLIC FACES W/ 3630-246 TEAL GREEN PSV ON FIRST SURFACE
- 7 3/16" 7328 WHITE ACRYLIC FACES W/ 3630-22 BLACK PSV ON FIRST SURFACE
- 8 1" BLACK JEWELITE TRIM CAP
- 9 RED LED ILLUMINATION (QTY & PLACEMENT DETERMINED BY SIGN SIZE)
- 10 WHITE LED ILLUMINATION (QTY & PLACEMENT DETERMINED BY SIGN SIZE)
- 11 REMOTE 120/277V POWER SUPPLIES MOUNTED INSIDE UL LISTED/RECOGNIZED BOX
- 12 UL LISTED/RECOGNIZED 18 AWG/2PLTC WIRING AND FIXTURES GOING TO POWER SUPPLIES
- 13 SIGN TO HAVE AN 8'-0" WHIP, **INSTALLER TO SPECIFY IF SPECIFIC LENGTH IS REQUIRED**
- 14 MOUNTING TO BE THRU-BOLTS
- 15 WALL CONSTRUCTION IS EIFS
- 16 EXTERIOR SIGN TO BE MANUFACTURED WITH WEEP HOLES

CORPORATE COLORS

- 
- PMS 032C
PMS 2582C
PMS 361C
PMS 329C

SIGNAGE COLORS

- | | |
|---|-----------------------------|
|  | 2793 RED ACRYLIC |
|  | 3M 3630-53 CARDINAL RED |
|  | 3M 3630-128 PLUM PURPLE |
|  | 3M 3630-106 BRILLIANT GREEN |
|  | 3630-246 TEAL GREEN |
|  | 3630-22 BLACK |



SECTION DETAIL

SCALE: 3" = 1'-0"

INSTALLATION NOTES 1: USE NON-CORROSIVE HARDWARE AND SEAL ALL EXTERIOR FACADE PENETRATIONS WATERTIGHT.

INSTALLATION NOTES 2: ONE DEDICATED (1) 120VAC CIRCUIT BY OTHERS REQUIRED WITHIN 5' OF CENTER OF SIGN. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE CODES. THIS INCLUDES PROPER GROUNDING AND BONDING.

INSTALLATION NOTES 3: GC TO PROVIDE ADEQUATE WOOD OR METAL BLOCKING IN CORRELATION W/ FACADE FRAMING AS REQUIRED.

Total Wine
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428 EAST FM 1382
CEDAR HILL, TX 75104

DRAWING NO.
028869

SIGN NO.
1.0

DATE OF
LAST CHANGE:
6/27/19

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CONSULTANT:
ANDY WASSERSTROM

PROJECT MANAGER:
BRIA STAIB

DESIGNER:
THW

FILE LOC:
51C:\BENT PROJECTS\TOTAL WINE
& MORE\BENT.FL5\ASANT SC 0271.dwg
11 PRODUCTION FILES\0272.dwg

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Residential Account #16045780070200000

[Location](#) [Owner](#) [Legal Desc](#) [Value](#) [Main Improvement](#) [Additional Improvements](#) [Land](#) [Exemptions](#)
[Estimated Taxes](#) [History](#)

Property Location (Current 2020)

Address: 1118 REITZ DR
Neighborhood: 4ESM06
Mapsco: 82-E (DALLAS)

[DCAD Property Map](#)

[2019 Appraisal Notice](#)

[Electronic Documents \(ENS\)](#)

[File Homestead Exemption Online](#)



[Print Homestead Exemption Form](#)

Owner (Current 2020)

AANEB YAHRA
1118 REITZ DR
CEDAR HILL, TEXAS 751049100

Multi-Owner (Current 2020)

Owner Name	Ownership %
AANEB YAHRA	100%

Legal Desc (Current 2020)

- 1:** WATERFORD OAKS GARDEN HOMES PH 4
2: BLK 7 LOT 20
3:
4: INT20070154869 DD04232007 CO-DC
5: 0457800702000 4CH04578007
Deed Transfer Date: 5/1/2007

Value

2019 Certified Values	
Improvement:	\$134,700
Land:	+ \$30,000
Market Value:	= \$164,700
Revaluation Year:	2019
Previous Revaluation Year:	2018

Main Improvement (Current 2020)

Building Class	16	Construction Type	FRAME	# Baths (Full/Half)	2/ 0
Year Built	1989	Foundation	SLAB	# Kitchens	1

Additional Improvements (Current 2020)

#	Improvement Type	Construction	Floor	Exterior Wall	Area (sqft)
1	ATTACHED GARAGE	BK-BRICK	CONCRETE	UNASSIGNED	440

Land (2019 Certified Values)

#	State Code	Zoning	Frontage (ft)	Depth (ft)	Area	Pricing Method	Unit Price	Market Adjustment	Adjusted Price	Ag Land
1	SINGLE FAMILY RESIDENCES	PLANNED DEVELOPMENT	55	110	5,599.0000 SQUARE FEET	FLAT PRICE	\$30,000.00	0%	\$30,000	N

* All Exemption information reflects 2019 Certified Values. *

Exemptions (2019 Certified Values)

	City	School	County and School Equalization	College	Hospital	Special District
Taxing Jurisdiction	CEDAR HILL	CEDAR HILL ISD	DALLAS COUNTY	DALLAS CO COMMUNITY COLLEGE	PARKLAND HOSPITAL	UNASSIGNED
HOMESTEAD EXEMPTION	\$0	\$25,000	\$32,940	\$32,940	\$32,940	\$0
Taxable Value	\$164,700	\$139,700	\$131,760	\$131,760	\$131,760	\$0

Exemption Details

Estimated Taxes (2019 Certified Values)

	City	School	County and School Equalization	College	Hospital	Special District
Taxing Jurisdiction	CEDAR HILL	CEDAR HILL ISD	DALLAS COUNTY	DALLAS CO COMMUNITY COLLEGE	PARKLAND HOSPITAL	UNASSIGNED
Tax Rate per \$100	\$0.697028	\$1.376	\$0.2531	\$0.124	\$0.2794	N/A
Taxable Value	\$164,700	\$139,700	\$131,760	\$131,760	\$131,760	\$0
Estimated Taxes	\$1,148.01	\$1,922.27	\$333.48	\$163.38	\$368.14	N/A
Tax Ceiling	N/A	N/A	N/A	N/A	N/A	N/A
Total Estimated Taxes:						\$3,935.28

DO NOT PAY TAXES BASED ON THESE ESTIMATED TAXES. You will receive an **official tax bill** from the appropriate agency when they are prepared. Please note that if there is an Over65 or Disabled Person **Tax Ceiling** displayed above, **it is NOT reflected** in the Total Estimated Taxes calculation provided. Taxes are collected by the agency sending you the **official** tax bill. To see a listing of agencies that collect taxes for your property. [Click Here](#)

The estimated taxes are provided as a courtesy and should not be relied upon in making financial or other decisions. The Dallas Central Appraisal District (DCAD) does not control the tax rate nor the amount of the taxes, as that is the responsibility of each Taxing Jurisdiction. Questions about your taxes should be directed to the appropriate taxing jurisdiction. We cannot assist you in these matters. These tax estimates are calculated by using the most current certified taxable value multiplied by the most current tax rate. **It does not take into account other special or unique tax scenarios, like a tax ceiling, etc..** If you wish to calculate taxes yourself, you may use the [Tax Calculator](#) to assist you.

History

History







1118 REITZ DR – Fence, Retaining Wall, and Painting

My name is Alexis Sartin, and I am a Code Enforcement Officer with the Code and Neighborhood Services Office for the City of Cedar Hill.

1. This property has been the subject of ongoing investigations by this office. Suspected Code violations have existed and continue to exist. I have personal knowledge of the nature of the code violations alleged and the attempts made to bring those violations into compliance.
2. Reba Farr, a code enforcement officer, opened a case for the property on May, 1, 2019. After observing a falling fence and retaining wall that had failed. Reba sent a notice to the owner, YAHRA AANEB, at 1118 REITZ DR., CEDAR HILL, TEXAS 75104.
3. On May 9, 2019, Reba inspected the property and found no change. She also noticed the chimney and house trim had chipped paint. She sent another Notice of Violation to the owner, YAHRA AANEB.
4. On June 10, 2019, another inspection was made by Reba; she noted no change to any violations.
5. On June 18, 2019, a Final Notice was left on the door at the property by Reba.
6. On June 25, 2019, Reba inspected the property and observed no change.
7. On June 26, 2019, Reba issued a citation to the owner, YAHRA AANEB for failure to paint and repair the fence.
8. On August 7, 2019, the property was scheduled on the board meeting agenda list. Tina prepared and sent the letter, notifying for BAA meeting to occur August 19, 2019, certified and regular to YAHRA AANEB at 1118 REITZ DR., CEDAR HILL, TEXAS 75104.
9. On August 14, 2019 I, Alexis Sartin, inspected the property and observed no change.



Code Enforcement Department

285 Uptown Blvd., Cedar Hill, TX 75104
O. 972.291.5100 X1090
F. 972.291.7250

August 7, 2019

VIA CERTIFIED MAIL OR REGISTERS MAIL, RETURN RECEIPT REQUESTED

Yahra Aaneb
1118 Reitz Dr
Cedar Hill, TX 75104

NOTICE OF PROPOSED ABATEMENT PROCEEDINGS PERTAINING TO 1118 REITZ DRIVE, CEDAR HILL, TEXAS

Please be advised that pursuant to Section 9-22 of the Cedar Hill Code of Ordinances, a hearing will be held before the Building Appeals and Advisory Board **at 7:00pm on August 7, 2019 at 285 Uptown Blvd, Administration Conference Room (4th floor), Cedar Hill, Texas, 75104**, to hear and consider all relevant evidence, objects or protests relative to the alleged public nuisance at **1118 Reitz Drive.**, Cedar Hill, Texas, and to the proposed abatement measures and proceedings in connection with said nuisance.

At the time and location of the said hearing, the Building Appeals and Advisory Board shall receive testimony from owners, witnesses, city personnel and interested persons relative to the alleged public nuisance at **1118 Reitz Dr.**, Cedar Hill, Texas, and to the proposed abatement measures and proceedings in connection with said nuisance.

You are encouraged to attend the hearing regarding your property and present relevant evidence and testimony.

Sincerely,

Tina Mitchell
Code Enforcement Supervisor

CERTIFIED MAIL 7017 1000 0000 0935 2823
5-Day Return Receipt Requested

MAYOR, ROB FRANKE • MAYOR PRO TEM, CHRIS PARV
DANIEL C. HAYDIN, JR. • CLIFFORD R. SHAW • WALLACE S

7017 1000 0000 0935 2823

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Postmark Here



Texas Driver Detail

Record Details

<i>First Name</i> YAHRA	<i>Middle Name</i>	<i>Last Name</i> AANEB	<i>Name Suffix</i>
<i>License number</i> 0024209652	<i>License type</i> DL	<i>Address</i> 1118 REITZ DR	<i>Address(Continued)</i>
<i>DOB</i> Dec 9 1970	<i>City/ZIP Code</i> CEDAR HILL 75104	<i>Issue Date</i> Mar 7 2006	
<i>Above information as provided by state - Our annotations are below</i>			
<i>Address (click to find others)</i> 1118 Reitz Dr	<i>City/State/Zip (click to find others)</i> Cedar Hill,TX 75104-9100		

1 '[Look-up](#)' has been deducted from your account CITYOF107-UID total on June 27, 2019 at 9:16:31.

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TEXAS

DEPARTMENT OF PUBLIC SAFETY

DRIVER LICENSE

CLASS: C

DL: 24209652

DOB: 12-09-70

HT: 5-09

EXPIRES: 12-09-12

EYES: BRN

REST:

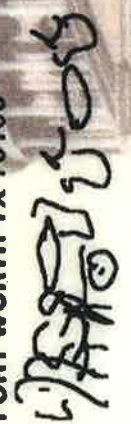
SEX: M


END:

AANEH, YAHRA

4415 MONTECITO WAY #3205

FORT WORTH TX 76106





060662288624

DIRECTOR

502 CEDAR ST.
CEDAR HILL, TEXAS 75104

CITY OF CEDAR HILL
P.O. Box 96
Cedar Hill, Texas 75106

FAX: 972-291-5137
TELEPHONE: 972-291-5100, Ext. 1200

WATER SERVICE APPLICATION FOR **RESIDENTIAL** SERVICE

NEW ACCOUNT: ☒ TRANSFER ACCOUNT: _____
DATE OF APPLICATION: 05/03/07 DATE SERVICE REQUESTED: 05/03/07
CUSTOMER NAME: Last: Aaneb First: Yahra MI: _____
DRIVERS LICENSE NUMBER: 24209152 STATE: TX
SOCIAL SECURITY NUMBER: 365-90-6161 DATE OF BIRTH: 12/09/1971
(SPOUSE / OTHER OCCUPANT NAME: Last: Givens-Aaneb First: Candace MI: 1
DRIVERS LICENSE NUMBER: 24091518 STATE: TX
SOCIAL SECURITY NUMBER: 560-75-7874 DATE OF BIRTH: 03/31/1980
RESIDENTIAL TELEPHONE: 972, 293-8443 RENT OR OWN OWN
SERVICE ADDRESS: 1118 Reitz Drive Cedar Hill, TX ZIP: 75104
MAILING ADDRESS (IF DIFFERENT): Street: N/A
City: _____ State: _____ Zip: _____
PRESENTLY EMPLOYED BY: CitiFinancial Auto
ADDRESS: Street: 2121 Airport Freeway
City: Bedford State: TX Zip: _____ Phone No.: (817) 770-2263
SPOUSE / OTHER OCCUPANT EMPLOYED BY: N/A
ADDRESS: Street: _____
City: _____ State: _____ Zip: _____ Phone No.: (____) _____

PURSUANT TO HOUSE BILL 859, A GOVERNMENT-OPERATED UTILITY MAY NOT DISCLOSE A CUSTOMER'S PERSONAL INFORMATION (ADDRESS, TELEPHONE NUMBER AND SOCIAL SECURITY NUMBER) IF THAT CUSTOMER REQUESTS THAT SUCH INFORMATION BE KEPT CONFIDENTIAL.

DO YOU WANT YOUR PERSONAL INFORMATION TO BE KEPT CONFIDENTIAL? ☒ YES ☐ NO

I UNDERSTAND THAT I WILL BE RESPONSIBLE FOR THIS ACCOUNT AND THAT ALL BILLS MUST BE PAID AND RECEIVED IN THE WATER OFFICE AT 502 CEDAR STREET ON OR BEFORE 5:00 PM ON THE DATE DUE TO AVOID PENALTY. FAILURE TO PAY A BILL MAY RESULT IN TERMINATION OF SERVICE.

CUSTOMER SIGNATURE: [Signature] DATE: 5/3/07

Trans#
0180724

Check # 1122
\$140.00 Deposit

2-010959-0000

←

http://www.dallascad.org/AcctDetailRes.aspx?ID=16045780070200000

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Data Products

Open Records

GIS Data Products

Exemptions

Property Valuation Process

Protest Process

Paying Taxes

Local Tax Offices

Taxing Unit Rates

F.A.Q.

Calendar

Certified Value Summaries

Certified Comparisons

Certification Reports

Preliminary Comparisons

Average SFR Values

Reappraisal Plan

Water & Electricity Usage

Administration

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Links

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On-line Help

DCAD Mobile Site

Residential Account #16045780070200000

LocationOwnerLegal DescValueMain ImprovementAdditional ImprovementsLandExemptionsEstimated TaxesHistory

Property Location (Current 2019)

Address: 1118 REITZ DR
Neighborhood: 4ESM06
Mapscor: 82-E (DALLAS)

DCAD Property Map

2019 Current Appraisal Notice

uFile Online Protest

Electronic Documents (ENS)

File Homestead Exemption Online

Print Homestead Exemption Form

Print/Mail Account Protest Form

Owner (Current 2019)

AANEB YAHRA
1118 REITZ DR
CEDAR HILL, TEXAS 751049100

Multi-Owner (Current 2019)

Owner Name	Ownership %
AANEB YAHRA	100%

Legal Desc. (Current 2019)

1: WATERFORD OAKS GARDEN HOMES PH 4
2: BLK 7 LOT 20
3:
4: INT20070154869 DD04232007 CO-DC
5: 0457800702000 4CH04578007
Deed Transfer Date: 5/1/2007

Value

2019 Proposed Values	
Improvement:	\$134,700
Land:	+ \$20,000
Market Value:	= \$154,700
Revaluation Year:	2019
Previous Revaluation Year:	2018

Main Improvement (Current 2019)

14

6/26/2019 1:43 PM



COPY

Code Enforcement Department

285 Uptown Blvd., Cedar Hill, TX 75104
O. 972-291-5100 X1090
F. 972-291-7250

NOTICE OF VIOLATION

AANEB YAHRA
1118 REITZ DR
CEDAR HILL, TEXAS 75104-9100

RE: 1118 REITZ DR CEDAR HILL TX 75104
Description: WATERFORD OAKS GARDEN HOMES
PH 4 BLK 7 LOT 20 INT20070154869
DD04232007 CO-DC 0457800702000
4CH04578007
APN: 16045780070200000
Case No: CE-19-2523
Officer: Reba Farr

Date: May 9, 2019

AANEB YAHRA,

It has come to the attention of the City of Cedar Hill that condition(s) exist at **1118 REITZ DR**. An inspection was conducted on **May 9, 2019** to confirm the existence of these condition(s) and may present a safety hazard to the neighboring area.

Code Section:	Violation Description:	Corrective Action:
9-27	The exterior of a structure shall be maintained structurally sound.	Repair exterior of structure. PLEASE CALL ME ABOUT RETAINING WALL & HOLE IN DRIVEWAY.
9-27(c)	Peeling paint, cracked or loose plaster, broken glass, decayed wood and other detective surface conditions shall be repaired, replaced or restored.	PLEASE PAINT TRIM ON CHIMNEY
9-26(l)	Fences shall not be out vertical alignment more than 25 degrees. Any and all broken, damaged, removed or missing parts of said fence shall be replaced with material and quality of original fence. Fences shall not be externally braced in lieu of replacing or repairing posts or other structural members.	Repair or replace fence. If more than 50 percent of a fence is being replaced, please make written application for a permit. The permit application shall be accompanied by a site plan showing the location of the fences on the property. Permit application forms can be found at www.cedarhilltx.com .

The condition(s) must be corrected by **June 10, 2019**. If the violation remains or reoccurs, a citation, with a fine punishable by up to \$2,000 will be issued. The City may also have the violation corrected and bill you for the charges plus an addition \$150 per violation for administrative expenses. A lien may be placed against the property for the cost of these services if payment of these charges is not made. The City Ordinance provides that the violation may be removed by the City under this same procedure for subsequent violations.

Should you have any questions concerning this notice, feel free to contact the Code Enforcement Department at **(972) 291-5100 x 1095**. Thank you for your cooperation.

Reba Farr

Reba Farr
Code Enforcement Officer
(972) 291-5100 x 1095

Photographs



1118 Reitz (1).JPG



1118 Reitz (2).JPG



1118 Reitz (3).JPG



1118 Reitz (4).JPG

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Postmark
Here

Total Postage and Fees

\$ _____

7017 2400 0000 4279 5499

Sent To	<u>Yahya Aaneb</u>
Street and Apt. No., or PO Box No.	<u>1118 Reitz</u>
City, State, ZIP+4®	<u>Cedar Hill TX 75104</u>

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

CITY OF CEDAR HILL TEXAS

CITATION N° 167258

Name	Last	First	MI	Sex	ETHNICITY: CAUCASIAN <input checked="" type="checkbox"/> AFRICAN <input type="checkbox"/> HISPANIC <input type="checkbox"/> ASIAN <input type="checkbox"/> NATIVE AMERICAN <input type="checkbox"/> MIDDLE EASTERN <input type="checkbox"/>
Residence No.	5-09	Height	Weight	Hair	Eyes
Business No.	1118	Street	Reitz Dr	Apt.	City
		Street		Apt.	Cedar Hill TX
D.L.# <input type="checkbox"/> /ID.# <input type="checkbox"/>	24209152	State	TX	Type	DL <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Year	2019	Color	Make	Model	Style
Date Of Offense	10-26-2019	Time	10:46 AM	District	Traffic <input type="checkbox"/> Citation <input type="checkbox"/>
OCA# Offense (C)		M.I.P.	Tobacco	Ran Red	Speed
Possession of Drug		City Ordinance	1-27	Ran Stop	Failed to Yield
Paraphernalia		Viol.	2200924	Inspection	R.O.W.
M.I.P.		Registration	Violation	Inspection	Verified
Alcohol		Violation	Violation	No Insurance Cov.	D.L. Violation
Location of Offense	1118 Reitz Dr.	Offense (A)		Offense (B)	Offense (C)
Witness		PC FOR STOP:		I agree to appear as directed (see reverse)	This is not a plea of guilt.
Officer		Badge #			

OFFICER



Residential Account #65147241010020000

[Location](#) [Owner](#) [Legal Desc](#) [Value](#) [Main Improvement](#) [Additional Improvements](#) [Land](#) [Exemptions](#)
[Estimated Taxes](#) [History](#)

Property Location (Current 2020)

Address: 609 CHAMBERS ST
Neighborhood: 4ESD05
Mapsc0: 81B-E (DALLAS)

[DCAD Property Map](#)

[2019 Appraisal Notice](#)

[Electronic Documents \(ENS\)](#)



[Print Homestead Exemption Form](#)

Owner (Current 2020)

AGUIRRE JASON D &
GONZALEZ MARINA
2818 MICHIGAN AVE
DALLAS, TEXAS 752164228

Multi-Owner (Current 2020)

Owner Name	Ownership %
GONZALEZ MARINA	50%
AGUIRRE JASON D &	50%

Legal Desc (Current 2020)

- 1: ELLIS C THOMAS ABST 1472 PG 410
2: TR 2 52.96X196
3:
4: INT201700125057 DD04272017 CO-DC
5: 1472410100200 4CH14724101

Deed Transfer Date: 5/4/2017

Value

2019 Certified Values	
Improvement:	\$25,240
Land:	+ \$13,500
Market Value:	= \$38,740
Revaluation Year:	2017
Previous Revaluation Year:	2014

Main Improvement (Current 2020)

Building Class	02	Construction Type	FRAME	# Baths (Full/Half)	1/ 0
----------------	----	-------------------	-------	---------------------	------

Additional Improvements (Current 2020)

No Additional Improvements.

Land (2019 Certified Values)

#	State Code	Zoning	Frontage (ft)	Depth (ft)	Area	Pricing Method	Unit Price	Market Adjustment	Adjusted Price	Ag Land
1	SINGLE FAMILY RESIDENCES	SINGLE FAMILY SF-7	53	196	11,229.0000 UNASSIGNED	FLAT PRICE	\$13,500.00	0%	\$13,500	N

* All Exemption information reflects 2019 Certified Values. *

Exemptions (2019 Certified Values)

No Exemptions

Estimated Taxes (2019 Certified Values)

	City	School	County and School Equalization	College	Hospital	Special District
Taxing Jurisdiction	CEDAR HILL	CEDAR HILL ISD	DALLAS COUNTY	DALLAS CO COMMUNITY COLLEGE	PARKLAND HOSPITAL	UNASSIGNED
Tax Rate per \$100	\$0.697028	\$1.376	\$0.2531	\$0.124	\$0.2794	N/A
Taxable Value	\$38,740	\$38,740	\$38,740	\$38,740	\$38,740	\$0
Estimated Taxes	\$270.03	\$533.06	\$98.05	\$48.04	\$108.24	N/A
Tax Ceiling					N/A	N/A
Total Estimated Taxes:						\$1,057.42

DO NOT PAY TAXES BASED ON THESE ESTIMATED TAXES. You will receive an **official tax bill** from the appropriate agency when they are prepared. Please note that if there is an Over65 or Disabled Person **Tax Ceiling** displayed above, **it is NOT reflected** in the Total Estimated Taxes calculation provided. Taxes are collected by the agency sending you the **official** tax bill. To see a listing of agencies that collect taxes for your property. [Click Here](#)

The estimated taxes are provided as a courtesy and should not be relied upon in making financial or other decisions. The Dallas Central Appraisal District (DCAD) does not control the tax rate nor the amount of the taxes, as that is the responsibility of each Taxing Jurisdiction. Questions about your taxes should be directed to the appropriate taxing jurisdiction. We cannot assist you in these matters. These tax estimates are calculated by using the most current certified taxable value multiplied by the most current tax rate. **It does not take into account other special or unique tax scenarios, like a tax ceiling, etc..** If you wish to calculate taxes yourself, you may use the [Tax Calculator](#) to assist you.

History

History



Code Enforcement Department

285 Uptown Blvd., Cedar Hill, TX 75104
O. 972.291.5100 X1090
F. 972.291.7250

August 7, 2019

VIA CERTIFIED MAIL OR REGISTERS MAIL, RETURN RECEIPT REQUESTED

Jason D Aguirre & Marina Gonzalez
609 Chambers St
Cedar Hill, TX 75104

NOTICE OF PROPOSED ABATEMENT PROCEEDINGS PERTAINING TO 609 CHAMBERS STREET, CEDAR HILL, TEXAS

Please be advised that pursuant to Section 9-22 of the Cedar Hill Code of Ordinances, a hearing will be held before the Building Appeals and Advisory Board **at 7:00pm on August 7, 2019 at 285 Uptown Blvd, Administration Conference Room (4th floor), Cedar Hill, Texas, 75104**, to hear and consider all relevant evidence, objects or protests relative to the alleged public nuisance at **609 Chambers Street**, Cedar Hill, Texas, and to the proposed abatement measures and proceedings in connection with said nuisance.

At the time and location of the said hearing, the Building Appeals and Advisory Board shall receive testimony from owners, witnesses, city personnel and interested persons relative to the alleged public nuisance at **609 Chambers Street.**, Cedar Hill, Texas, and to the proposed abatement measures and proceedings in connection with said nuisance.

You are encouraged to attend the hearing regarding your property and present relevant evidence and testimony.

Sincerely,

Tina Mitchell
Code Enforcement Supervisor

CERTIFIED MAIL 7017 1000 0000 0935 2885
5-Day Return Receipt Requested

MAYOR. ROB FRANKE • MAYOR PRO TEM, CHRIS PA
DANIEL C. HAYDIN, JR. • CLIFFORD R. SHAW • WALLACE

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Code Enforcement Department

285 Uptown Blvd., Cedar Hill, TX 75104
O. 972.291.5100 X1090
F. 972.291.7250

August 7, 2019

VIA CERTIFIED MAIL OR REGISTERS MAIL, RETURN RECEIPT REQUESTED

Jason D Aguirre & Marina Gonzalez
2818 Michigan Ave
Dallas, TX 75216

NOTICE OF PROPOSED ABATEMENT PROCEEDINGS PERTAINING TO 609
CHAMBERS STREET, CEDAR HILL, TEXAS

Please be advised that pursuant to Section 9-22 of the Cedar Hill Code of Ordinances, a hearing will be held before the Building Appeals and Advisory Board at 7:00pm on August 7, 2019 at 285 Uptown Blvd, Administration Conference Room (4th floor), Cedar Hill, Texas, 75104, to hear and consider all relevant evidence, objects or protests relative to the alleged public nuisance at 609 Chambers Street, Cedar Hill, Texas, and to the proposed abatement measures and proceedings in connection with said nuisance.

At the time and location of the said hearing, the Building Appeals and Advisory Board shall receive testimony from owners, witnesses, city personnel and interested persons relative to the alleged public nuisance at 609 Chambers Street., Cedar Hill, Texas, and to the proposed abatement measures and proceedings in connection with said nuisance.

You are encouraged to attend the hearing regarding your property and present relevant evidence and testimony.

Sincerely,

Tina Mitchell
Code Enforcement Supervisor

CERTIFIED MAIL 7017 1000 0000 0935 2830
5-Day Return Receipt Requested

MAYOR, ROB FRANKE • MAYOR PRO TEM. CHRIS PA
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City, State, ZIP+4®	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

609 Chambers St. – Roof Damage, Rotten Wood/Trim, Peeling Paint, Mold Growth on Exterior of Home.

My name is Chante' Jacobs and I am a Code Enforcement Officer with the Code and Neighborhood Services Office for the City of Cedar Hill.

1. This property has been the subject of ongoing investigations by this office. Suspected Code violations have existed and continue to exist. I have personal knowledge of the nature of the code violations alleged and the attempts made to bring those violations into compliance.
2. The case was opened following a complaint received by Director Stacey Graves via email on June 4, 2019. The complaint mentioned, "roof in bad shape, electrical service looks shady, rotten wood, storage building too close to property line (no permit issued), junk vehicles rear property, structure looks in bad shape."
3. June 5, 2019, I inspected the property and found the roof was in bad shape, wood/trim around the home was rotted, there's visible mold growth, and storage shed behind the property (addressed by building inspector Andrew Lipscomb). The electrical issue was being addressed by Sr. Building Inspectors Gail Lux and Andrew Lipscomb.
4. June 5, 2019, We (CHANTE, TINA, AND ALEXIS) spoke to Ms. Marina Gonzalez Jr. (daughter of property owner) today while an inspection of the property was being conducted. Ms. Marina Gonzalez Jr. stated, they stopped working on the storage shed as soon as they learned a permit was needed per Sr. Building Inspector Andrew Lipscomb. She was informed by Code Enforcement Supervisor Tina Mitchell to apply for a permit and finish the shed or remove it. I also informed Ms. Gonzalez that I will be bringing them an application for Mission Cedar Hill to see if they would qualify for assistance (house needs to be painted, wood/trim needs to be replaced, and it needs a new roof). The daughter stated, they had signed up to be on the list for Mission Cedar Hill in the past but hadn't gotten a call back from anyone. Code Enforcement Supervisor Tina Mitchell told her we would try again.
5. June 6, 2019, I returned to the property and taped an application to the door instructing them to fill it out and submit it by June 17, 2019.
6. June 20, 2019, I returned to the property to check the status of the application and no one answered the door.
7. June 21, 2019, I left a VM for Ms. Marina Gonzalez informing her to fill out the application that I requested to be turned in on June 17, 2019 and I'll even come

and pick it up and turn it in. A notice of violation was sent with another copy of the Mission Cedar Hill Application enclosed.

8. July 9, 2019, A re-inspection was completed. I checked with Michelle Ebanks with Neighborhood Services about submittal of a Mission Cedar Hill Application for 609 Chambers St. and there was no application on file.
9. July 9, 2019, Due to the conditions of the home remaining the same and not able to contact the home owner citation 166394 was issued to Mr. Jason Aguirre (listed as one of the home owners).
10. July 12, 2019, Mr. Aguirre and Ms. Marina Gonzalez Sr. (Spanish speaker) came in and spoke with Code Enforcement Officer Kevin Quintanar and myself about the citation issued and the permit application for the storage shed behind the property. Mr. Aguirre and Ms. Gonzalez stated, a Mission Cedar Hill Application was submitted and that they also contacted their insurance company about the exterior of the home. I had Kevin to explain that if the MCH Application was located and dated before the citation was issued, I'll dismiss it. Supervisor Tina Mitchell and Permit Technician Jeanette Cosme located Ms. Gonzalez's permit application for the storage shed on Inspector Lance Baker's desk, but no MCH application was located. I had Kevin inform Mr. Aguirre and Ms. Gonzalez that the citation wasn't for the storage shed just the exterior structure of the home and that if the MCH Application was located the citation will be dismissed. Permit Technician Jeanette Cosme remembered Ms. Gonzalez coming in with a blank MCH application to ask questions, but never submitting one.
11. July 18, 2019, I emailed Michelle Ebanks again inquiring about the MCH application Ms. Gonzalez stated she submitted, and no application was on file.
12. July 19, 2019, I received a message, Mr. Aguirre came in to speak with me about the citation while I was out in the field. Due to Kevin not being in the office to translate I did not contact Mr. Aguirre or Ms. Gonzalez.
13. July 23, 2019, Kevin called Ms. Gonzalez and Mr. Aguirre to explain the application for MCH has not been located, so the citation will not be dismissed. No one answered the phone and Kevin was unable to leave a VM—it wasn't set up.
14. July 31, 2019, I emailed Michelle Ebanks again about the application and Steve Scott informed us an application had not been submitted.
15. August 1, 2019, I had Code Enforcement Officer Kevin Quintanar call Ms. Gonzalez and explain that she would have to set a court date and let the judge know that she is going through her insurance company.

Code Enforcement Officer Kevin Quintanar: "Called Ms. Gonzalez & explained that Chante has not been able to locate an MCH application. It's possible that the application that was turned in, was the building permit app. Ms. Gonzalez agrees b/c she said she found the MCH packet at her home. I told her that she can explain to the judge, if she wants to contest the ticket, that she is working w/ her insurance on the trim". She said, she hasn't heard from the insurance company lately. I told her to get in touch w/ them b/c Chante can continue issuing citations for the trim."

16. August 7, 2019, Supervisor Tina Mitchell sent letters for board hearing certified and regular mail to Ms. Gonzalez.

Code Enforcement Case: CE-19-3017
Entered on: 06/05/2019 1:59 PM
Printed on: 08/13/2019

Topic: Exterior Grounds	Status: Open
Due Date: 08/21/19	Assigned To: Chante Jacobs
Initiated by: Complaint	
Hearing Date:	Hearing Time:

Permit		
Permit #:	Business name:	License #:
Property Location		

Occupant Name:

Address: 609 CHAMBERS ST , 75104

Phone: Cell #:

APN : 65147241010020000

Owner Information	
Owner Name: AGUIRRE JASON D &	
Address: GONZALEZ MARINA	
2818 MICHIGAN AVE	
DALLAS, TEXAS 75216-4228	
Phone:	Cell #:

Actions					
Action	By	Date	Time	Hours	Note/Observation
Complaint	Chante Jacobs	06/05/2019	1:59 pm	0.00	ROTTED TRIM, BAD ROOF, JV IN THE BACKYARD, SHED ON THE PROPERTY LINE W/OUT PERMIT.
Inspection	Chante Jacobs	06/05/2019	1:59 pm	0.00	We (CHANTE, TINA, AND ALEXIS) spoke to the daughter today. She said they stopped working on the storage shed as soon as they learned they needed a permit. I explained she needed to remove it or get a permit and finish the shed. We are also going to give them an application for Mission Cedar Hill. The house needs to be painted, some trim needs to be replaced and it needs a new roof. The daughter said they had signed up to be on the list for Mission Cedar Hill in the past, but hadn't gotten a call back from anyone. I told her we would try again. (TINA MITCHELL)
Case Notes	Chante Jacobs	06/05/2019	2:15 pm	0.00	I WILL DROP OFF MCH AND PERMIT APPLICATION TO THE ABOVE ADDRESS.
Case Notes	Stacey Graves	06/17/2019	3:36 pm	0.00	Complaint of meter base dangerous. Too low and dangerous. Have building inspector inspect it.
Inspection	Chante Jacobs	06/20/2019	11:37 am	0.00	Went by to check if home owner turned in MCH application and no one answered (2 vehicles are in driveway)
Phone Call	Chante Jacobs	06/21/2019	8:50 am	0.00	LEFT A VM FOR MARINA INFORMING HER TO FILL OUT THE APPLICATION THAT I REQUESTED TO BE TURNED IN ON 6/17 AND I'LL COME AND PICK IT UP FOR HER.
Notice of Violation	Chante Jacobs	06/21/2019	4:31 pm	0.00	Send to (Owner,Property Location)
Inspection	Chante Jacobs	07/09/2019	4:08 pm	0.00	CONDITION OF HOME IS THE SAME AND NO APPLICATION HAS BEEN SUBMITTED.
Citation	Chante Jacobs	07/09/2019	4:08 pm	0.00	166394
Conference	Chante Jacobs	07/12/2019	4:36 pm	0.00	MR. AGUIRRE AND MS. GONZALEZ CAME IN AND SPOKE WITH KEVIN AND MYSELF ABOUT THE CITATION ISSUED AND THE PERMIT APPLICATIONS. WE DID NOT KNOW APPLICATIONS WERE SUBMITTED, BUT FOUND THEM ON LANCE BAKER'S DESK, SO I WILL DISMISS THE CITATION.
Phone Call	Chante Jacobs	07/23/2019	10:37 am	0.00	KEVIN CALLED MS. GONZALEZ AND MR. AGUIRE TO EXPLAIN THAT THE APPLICATION FOR MCH HAS NOT BEEN LOCATED, SO THE CITATION WILL NOT BE DISMISSED. NO ONE ANSWERED THE PHONE AND KEVIN WAS UNABLE TO LEAVE A VM BECAUSE IT'S NOT SET UP.
Phone Call		08/01/2019	9:51 am	0.00	

Kevin
Quintanar

Called Ms. Gonzalez & explained that Chante has not been able to locate an MCH application. It's possible that the application that was turned in, was the building permit app. Ms. Gonzalez agrees b/c she said she found the MCH packet at her home. I told her that she can explain to the judge, if she wants to contest the ticket, that she is working w/ her insurance on the trim. She said she hasn't heard from the insurance company lately. I told her to get in touch w/ them b/c Chante can continue issuing citations for the trim.

Case Notes Tina 08/07/2019 8:15 am 0.00 sent letter for board hearing
Mitchell



Violations			
#	Violation Type	Due Date	Status
	Building without Permit		Open
1	Corrections Required:Apply for a building permit OR REMOVE SHED. ENCLOSED IS ANOTHER MISSION CEDAR HILL APPLICATION. PLEASE SUBMIT COMPLETED APPLICATION BY 6/28.		
	Exterior Structure		Open
2	Corrections Required:Repair exterior of structure (ROTTED TRIM, PAINT, ETC.) ENCLOSED IS ANOTHER MISSION CEDAR HILL APPLICATION. PLEASE SUBMIT COMPLETED APPLICATION BY 6/28.		

Inspection Notes

Date: Time:

Findings:

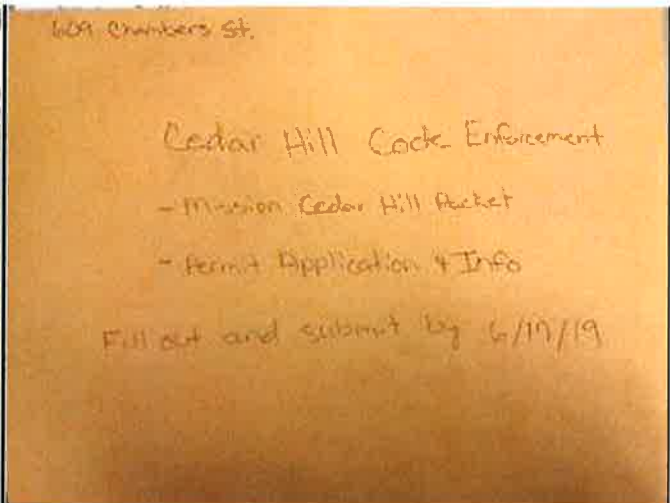
Photographs



55C5AE5E-95D0-4FC1-9F53-E502CEB01A8C.jpeg02CE5CB1-4DC8-4CB2-91FB-C181FD385D07.jpeg



A9A90B3D-E09A-4859-AAD7-6766E36BB3D3.jpeg



B733DC31-8D40-47B1-8AC8-CF67FC6FDF21.jpeg



6CF1F834-D293-4B25-83CC-E4BC7F7C38AA.jpeg

Jacobs, Chante

From: Jacobs, Chante
Sent: Wednesday, July 31, 2019 3:03 PM
To: Ebanks, Michelle
Subject: RE: FW: MCH

Lots of things, but she is going thru her insurance company. I wrote them a citation and if the application was submitted before it was written, I was going to dismiss it. Thank you for update.

From: Ebanks, Michelle <michelle.ebanks@cedarhilltx.com>
Sent: Wednesday, July 31, 2019 2:29 PM
To: Jacobs, Chante <Chante.Jacobs@cedarhilltx.com>
Subject: FW: FW: MCH

See below. What work is she needing done?

From: Steve Scott <stevenotisscott@gmail.com>
Sent: Wednesday, July 31, 2019 12:54 PM
To: Ebanks, Michelle <michelle.ebanks@cedarhilltx.com>
Subject: Re: FW: MCH

We have NOT received an application from Marina Gonzales at 609 Chambers. In June of 2018 she was on our list. At that time she was in need of a roof, and we told her that was not a type of work we performed. Do you have the scope of her violation today?
Steve

On Tue, Jul 30, 2019 at 10:01 AM Ebanks, Michelle <michelle.ebanks@cedarhilltx.com> wrote:

Hi Steve- can you confirm if you've received an application for 609 Chambers?

From: Jacobs, Chante
Sent: Thursday, July 18, 2019 4:01 PM
To: Ebanks, Michelle <michelle.ebanks@cedarhilltx.com>
Subject: MCH

Hello,

I know I asked about 609 Chambers, but she came in on Friday stating she submitted an application. I wrote the son a ticket and explained, "if the application was submitted before the citation was issued I'll dismiss it". Can you check and see if she turned it in again, please ma'am? Thank you so much. ☺

Chante' Jacobs

Code Enforcement Officer



O 972.291.5181 X2855 F 972.291.7250

285 Uptown Blvd. Building 100

Cedar Hill, TX 75104

CedarHillTX.com

Chante.jacobs@cedarhilltx.com



Connect with us 24/7

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"This is how much God loved the world: He gave his Son, his one and only Son. And this is why: so that no one need be destroyed; by believing in him, anyone can have a whole and lasting life. God didn't go to all the trouble of sending his Son merely to point an accusing finger, telling the world how bad it was. He came to help, to put the world right again. Anyone who trusts in him is acquitted; anyone who refuses to trust him has long since been under the death sentence without knowing it. And why? Because of that person's failure to believe in the one-of-a-kind Son of God when introduced to him."

John 3:16-18 THE MESSAGE

Jacobs, Chante

From: Jacobs, Chante
Sent: Thursday, July 18, 2019 4:01 PM
To: Ebanks, Michelle
Subject: MCH

Hello,

I know I asked about 609 Chambers, but she came in on Friday stating she submitted an application. I wrote the son a ticket and explained, "if the application was submitted before the citation was issued I'll dismiss it". Can you check and see if she turned it in again, please ma'am? Thank you so much. 😊

Chante' Jacobs
Code Enforcement Officer


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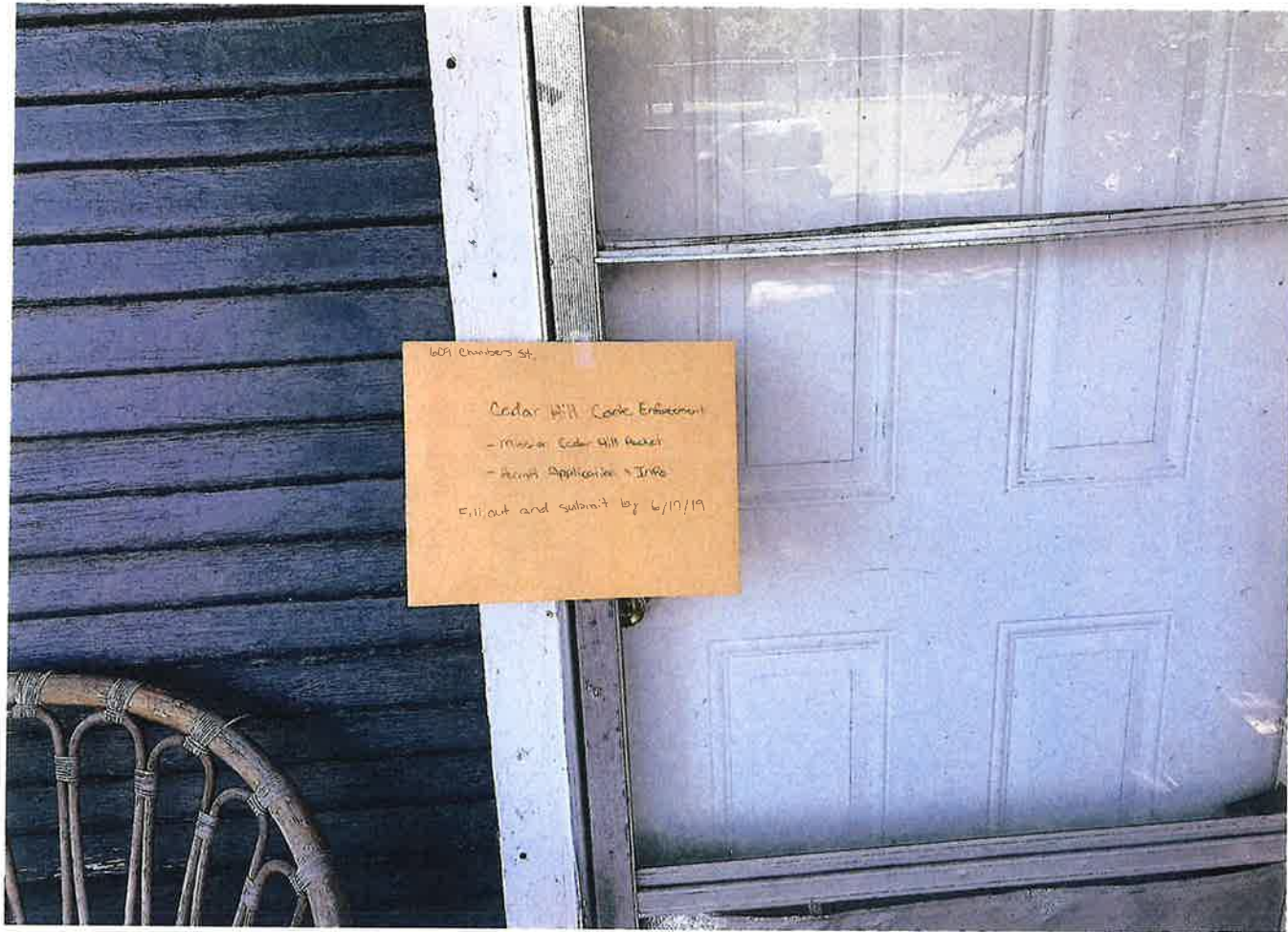
609 Chambers St.

Cedar Hill Code Enforcement

- Mission Cedar Hill Packet

- Permit Application & Info

Fill out and submit by 6/17/19



609 Chambers St.
Cedar Hill Code Enforcement
- Missing Cedar Hill Permit
- Permit Application + Info
Fill out and submit by 6/17/19





Jacobs, Chante

From: Jacobs, Chante
Sent: Thursday, June 20, 2019 2:10 PM
To: Ebanks, Michelle
Subject: MCH

Hi,

I'm really not stalking you...lol, but can you check if a resident at 609 Chambers turned in an application? Also, there's a sweet older-young lady that has a stretch of chain-link fencing in her back yard she thought belonged to her neighbor needing removal. The neighbor put up a wooden fence leaving about a 6 inch gap between the two fences making weed removal almost impossible for this older-young lady. My question—would MCH remove that piece of fencing for her if she submitted an application? If you can, let me know before I give her some false hope.

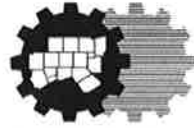
Thanks,

Chante' Jacobs
Code Enforcement Officer


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North Central Texas
Council of Governments

**Recommended Amendments to the
2018 International Fuel Gas Code**
North Central Texas Council of Governments Region

The following sections, paragraphs, and sentences of the *2018 International Fuel Gas Code* are hereby amended as follows: Standard type is text from the IFGC. Underlined type is text inserted. ~~Lined through type is deleted text from IFGC.~~ A double asterisk at the beginning of a section identifies an amendment carried over from the 2015 edition of the code and a triple asterisk identifies a new or revised amendment with the 2018 code.

****Section 101.2**

{Local amendments to Section 101.2 may be necessary to correspond with the State Plumbing Licensing Law.}

****Section 102.2; add an exception to read as follows:**

Exception: Existing dwelling units shall comply with Section 621.2.

(Reason: Previous code provisions made unvented heater provisions retroactive except as provided for in local amendment. This amendment and amendment to IFGC 621.2 better clarify what the code already states: existing systems may stay unless considered unsafe.)

****Section 102.8; change to read as follows:**

102.8 Referenced codes and standards. The codes and standards referenced in this code shall be those that are listed in Chapter 8 and such codes, when specifically adopted, and standards shall be considered part of the requirements of this code to the prescribed extent of each such reference. Where differences occur between provisions of this code and the referenced standards, the provisions of this code shall apply. Whenever amendments have been adopted to the referenced codes and standards, each reference to said code and standard shall be considered to reference the amendments as well. Any reference to NFPA 70 or the ICC *Electrical Code* shall mean the *Electrical Code* as adopted.

(Reason: Legal wording to recognize locally adopted codes and amendments adopted with referenced codes.)

*****Section 306.3; change to read as follows:**

[M] 306.3 Appliances in attics. Attics containing appliances shall be provided . . . *{bulk of paragraph unchanged}* . . . side of the *appliance*. The clear access opening dimensions shall be a minimum of 20 inches by 30 inches (508 mm by 762 mm), and large enough to allow removal of the largest *appliance*. As a minimum, for access to the attic space, provide one of the following:

1. A permanent stair.
2. A pull down stair with a minimum 300 lb (136 kg) capacity.
3. An access door from an upper floor level.
4. Access Panel may be used in lieu of items 1, 2, and 3 with prior approval of the code official due to building conditions.

Exceptions:

1. The passageway and level service space are not required where the *appliance* is capable of being serviced and removed through the required opening.
2. Where the passageway is not less than ... *{bulk of section to read the same}*.

(Reason: To provide a safe means of accessibility to appliances in attics and to allow for different types of construction limitations. Consistent with regional amendment to IMC 306.3.)

*****Section 306.5; change to read as follows:**

[M] 306.5 Equipment and Appliances on Roofs or Elevated Structures. Where *equipment* requiring access or appliances are located on an elevated structure or the roof of a building such that personnel will have to climb higher than 16 feet (4877 mm) above grade to access, an interior or exterior means of access shall be provided. Exterior ladders providing roof access need not extend closer than 12 feet (2438 mm) to the finish grade or floor level below and shall extend to the *equipment* and appliances' level service space. Such access shall ... *{bulk of section to read the same}* ... on roofs having a slope greater than four units vertical in 12 units horizontal (33-percent slope). ... *{remainder of text unchanged}*.

(Reason: To assure safe access to roof appliances. Consistent with IMC amendments.)

****Section 306.5.1; change to read as follows:**

[M] 306.5.1 Sloped roofs. Where appliances, *equipment*, fans or other components that require service are installed on a roof having a slope of 3 units vertical in 12 units horizontal (25-percent slope) or greater and having an edge more than 30 inches (762 mm) above grade at such edge, a catwalk at least 16 inches in width with substantial cleats spaced not more than 16 inches apart shall be provided from the roof access to a level platform at the appliance. The level platform shall be provided on each side of the appliance to which access is required for service, repair or maintenance. The platform shall be not less than 30 inches (762 mm) in any dimension and shall be provided with guards. The guards shall extend not less than 42 inches (1067 mm) above the platform, shall be constructed so as to prevent the passage of a 21-inch-diameter (533 mm) sphere and shall comply with the loading requirements for guards specified in the *International Building Code*.

(Reason: To assure safe access to roof appliances. Consistent with IMC amendments.)

****Section 401.5; add a second paragraph to read as follows:**

Both ends of each section of medium pressure gas piping shall identify its operating gas pressure with an approved tag. The tags are to be composed of aluminum or stainless steel and the following wording shall be stamped into the tag:

"WARNING
1/2 to 5 psi gas pressure
Do Not Remove"

(Reason: To protect homeowners and plumbers.)

****Section 404.12; change to read as follows:**

404.12 Minimum burial depth. Underground piping systems shall be installed a minimum depth of ~~12~~ 18 inches (~~305~~ 458 mm) top of pipe below grade, ~~except as provided for in Section 404.12.1.~~

404.12.1 Delete in its entirety

(Reason: To provide increased protection to piping systems and address reference number change.)

****Section 406.4; change to read as follows:**

406.4 Test pressure measurement. Test pressure shall be measured with a monometer or with a pressure-measuring device designed and calibrated to read, record, or indicate a pressure loss caused by leakage during the pressure test period. The source of pressure shall be isolated before the pressure tests are made. ~~Mechanical gauges used to measure test pressures shall have a range such that the highest end of the scale is not greater than five times the test pressure.~~

(Reason: To require the use of more accurate diaphragm gauges. Spring gauges do not provide accurate measurement below approximately 17 psig.)

****Section 406.4.1; change to read as follows:**

406.4.1 Test pressure. The test pressure to be used shall be no less than 1 1/2 times the proposed maximum working pressure, but no less than 3 psig (20 kPa gauge), or at the discretion of the Code Official, the piping and valves may be tested at a pressure of at least six (6) inches (152 mm) of mercury, measured with a manometer or slope gauge, irrespective of design pressure. ~~Where the test pressure exceeds 125 psig (862 kPa gauge), the test pressure shall not exceed a value that produces a hoop stress in the piping greater than 50 percent of the specified minimum yield strength of the pipe. For tests requiring a pressure of 3 psig, diaphragm gauges shall utilize a dial with a minimum diameter of three and one half inches (3 1/2"), a set hand, 1/10 pound incrementation and pressure range not to exceed 6 psi for tests requiring a pressure of 3 psig. For tests requiring a pressure of 10 psig, diaphragm gauges shall utilize a dial with a minimum diameter of three and one-half inches (3 1/2"), a set hand, a minimum of 2/10 pound incrementation and a pressure range not to exceed 20 psi. For welded piping, and for piping carrying gas at pressures in excess of fourteen (14) inches water column pressure (3.48 kPa) (1/2 psi) and less than 200 inches of water column pressure (52.2 kPa) (7.5 psi), the test pressure shall not be less than ten (10) pounds per square inch (69.6 kPa). For piping carrying gas at a pressure that exceeds 200 inches of water column (52.2 kPa) (7.5 psi), the test pressure shall be not less than one and one-half times the proposed maximum working pressure.~~

Diaphragm gauges used for testing must display a current calibration and be in good working condition. The appropriate test must be applied to the diaphragm gauge used for testing.

(Reason: To provide for lesser pressures to coordinate with the use of more accurate diaphragm gauges.)

****Section 409.1; add Section 409.1.4 to read as follows:**

409.1.4 Valves in CSST installations. Shutoff valves installed with corrugated stainless steel (CSST) piping systems shall be supported with an approved termination fitting, or equivalent support, suitable for the size of the valves, of adequate strength and quality, and located at intervals so as to prevent or damp out excessive vibration but in no case greater than 12-inches from the center of the valve. Supports shall be installed so as not to interfere with the free expansion and contraction of the system's piping, fittings, and valves between anchors. All valves and supports shall be designed and installed so they will not be disengaged by movement of the supporting piping.

(Reason: To provide proper security to CSST valves. These standards were established in this region in 1999 when CSST was an emerging technology.)

****Section 410.1; add a second paragraph and exception to read as follows:**

Access to regulators shall comply with the requirements for access to appliances as specified in Section 306.

Exception: A passageway or level service space is not required when the regulator is capable of being serviced and removed through the required attic opening.

(Reason: To require adequate access to regulators.)

****Section 621.2; add exception as follows:**

621.2 Prohibited use. One or more unvented room heaters shall not be used as the sole source of comfort heating in a dwelling unit.

Exception: Existing approved unvented heaters may continue to be used in dwelling units, in accordance with the code provisions in effect when installed, when approved by the Code Official unless an unsafe condition is determined to exist as described in Section 108.7.

(Reason: Gives code official discretion.)

END