

ORDINANCE NO 2019-681

AN ORDINANCE OF THE CITY OF CEDAR HILL, TEXAS, AMENDING THE ZONING ORDINANCE, ORDINANCE NO. 2001-64, AS AMENDED; BY AMENDING THE ZONING MAP DISTRICT CLASSIFICATION OF CERTAIN PROPERTY LOCATED ON THE EAST SIDE OF SOUTH CLARK ROAD, SOUTH OF WEAVER STREET, LEGALLY DESCRIBED AS TRACT 33 OF THE WILLIAM COOMBS SURVEY, ABSTRACT NO. 304, FROM THE "NS" (NEIGHBORHOOD SERVICE) DISTRICT TO THE "SF-10" (SINGLE-FAMILY RESIDENTIAL MINIMUM 10,000-SQUARE-FOOT LOTS) DISTRICT; PROVIDING FOR A SAVINGS CLAUSE; PROVIDING A SEVERANCE CLAUSE; PROVIDING AN EFFECTIVE DATE; AND PROVIDING FOR PUBLICATION.

WHEREAS, a request for a change in zoning classification from the "NS" (Neighborhood Service) District to the "SF-10" (Single-Family Residential 10,000-square-foot lots) District, was duly filed with the City of Cedar Hill, Texas, and was assigned case no. Z-184-2019; and

WHEREAS, the zoning classification of the subject property and the surrounding area are shown on "Exhibit A"; and

WHEREAS, the "SF-10" (Single-Family Residential 10,000-square-foot lots) District is in conformance with the City's adopted Comprehensive Plan, as amended; and

WHEREAS, the City of Cedar Hill caused notice of the required public hearings regarding the zoning change to this Ordinance to be published in the Focus Daily News on June 30, 2019, and mailed notice to property owners within 200 feet of the subject property; and

WHEREAS, the City's Planning and Zoning Commission held a public hearing and accepted comments regarding the zoning change of this Ordinance on June 18, 2019; and

WHEREAS, following its public hearing, the Planning and Zoning Commission forwarded its report and recommendation regarding this Ordinance to the City Council; and

WHEREAS, the City Council, after conducting a public hearing on August 12, 2019, found the proposed amendment to be in the best interests of the City of Cedar Hill.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CEDAR HILL, TEXAS, THAT:

SECTION 1 – PROPERTY DESCRIPTION. This ordinance applies solely to approximately 1.78 acres of land legally described as Tract 33 of the William Coombs Survey, Abstract No. 304, generally located on the east side of South Clark Road, south of Weaver Street as more particularly described in “**Exhibit B**”, which is attached hereto and incorporated by reference herein as if fully set forth.

SECTION 2 – CHANGE IN ZONING DISTRICT CLASSIFICATION. The zoning district classification for the property described in Section 1 is hereby changed from the “NS” (Neighborhood Service) District to the “SF-10” (Single-Family Residential 10,000-square-foot lots) District. The official zoning map for the city shall be changed to reflect this change in zoning district classification.

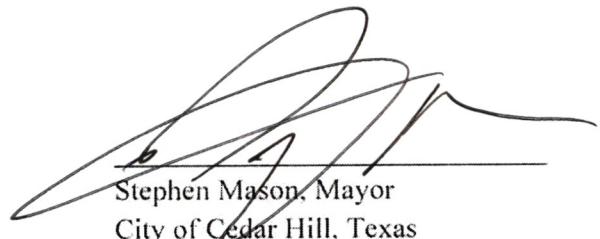
SECTION 3 – SAVINGS CLAUSE. In the event that any other Ordinance of the City of Cedar Hill, Texas, heretofore enacted is found to conflict with the provisions of the Ordinance, this Ordinance shall prevail.

SECTION 4 – SEVERANCE CLAUSE. Should any word, sentence, paragraph, subdivision, clause, phrase, or section of this Ordinance, or of the Code of Ordinances, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said Ordinance or the Code of Ordinances, as amended hereby, which shall remain in full force and effect.

SECTION 5 – EFFECTIVE DATE. Because of the nature of the interests sought to be protected and of the safeguards sought to be provided by this Ordinance, and in the interest of the health, safety, and welfare of the citizens of Cedar Hill, Texas, this Ordinance shall take effect immediately after its passage, approval, and publication as required by law. The City Secretary is hereby authorized and directed to cause publication of the descriptive caption and penalty clause hereof as an alternative method of publication provided by law.

SECTION 6 – PUBLICATION. The City Secretary is hereby authorized and directed to cause publication of the descriptive caption and penalty clause hereof as an alternative method of publication provided by law.

PASSED, APPROVED and ADOPTED by the City Council, the City of Cedar Hill, on this the 27th day of August, 2019.



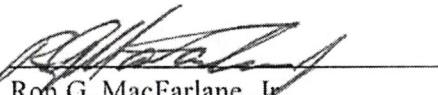
Stephen Mason, Mayor
City of Cedar Hill, Texas

ATTEST:



Belinda Berg
City Secretary

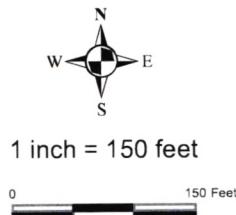
APPROVED AS TO FORM:



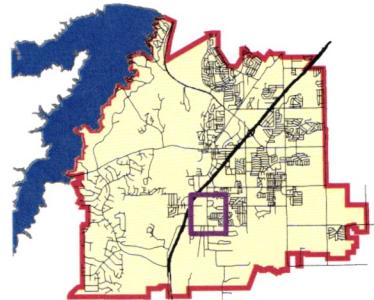
Ron G. MacFarlane, Jr.
City Attorney

City of Cedar Hill

EXHIBIT A



Case Z-184-2019



Map Printed - May 2019
Cedar Hill Planning Department

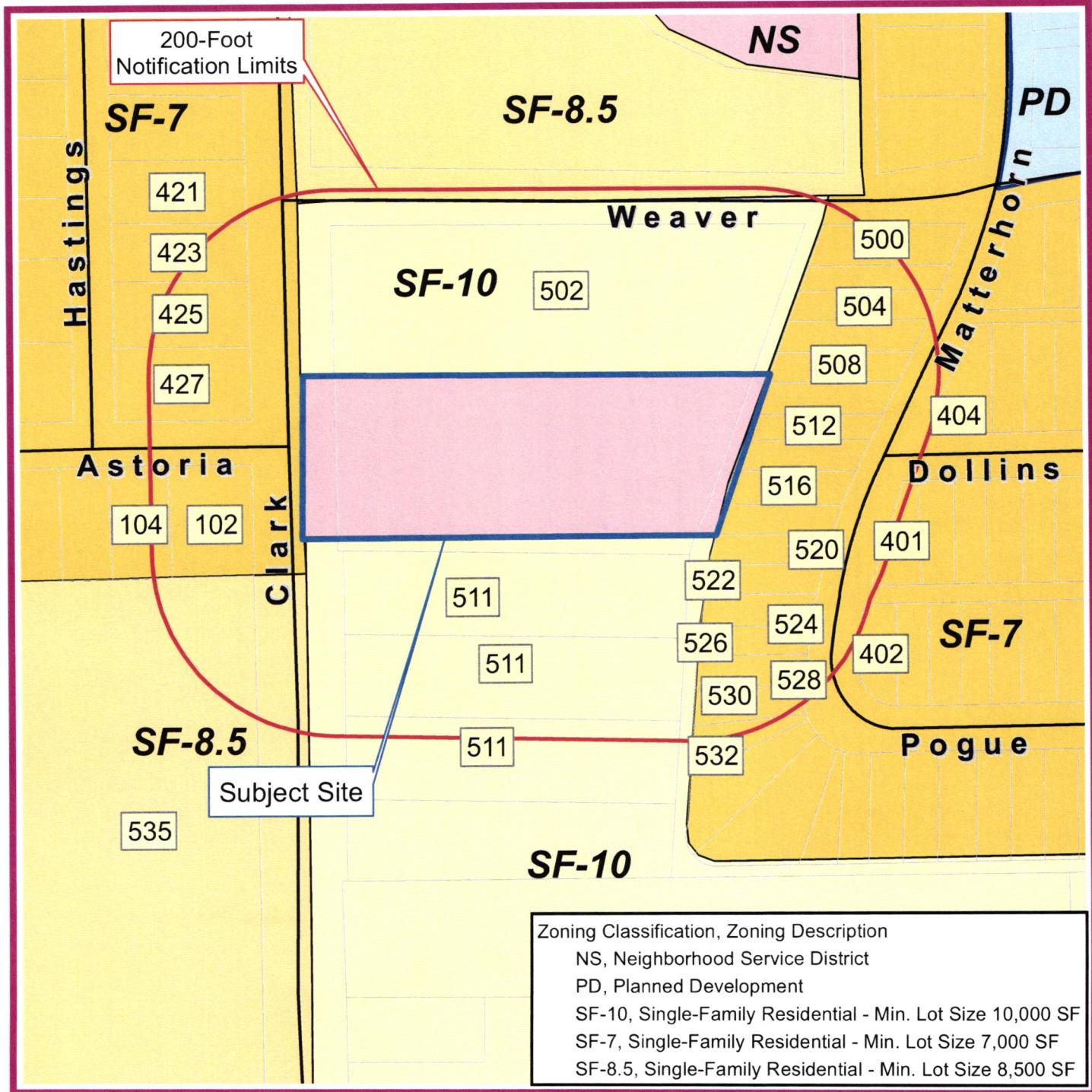


EXHIBIT B1529 E. I-30, STE. 106
GARLAND, TX 75043**SURVEY PLAT**

FIRM REGISTRATION NO. 10194052



WWW.RHODESSURVEYING.COM

BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940
 This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 507 S. CLARK ROAD, in the city of CEDAR HILL, DALLAS COUNTY, Texas.

STATE OF TEXAS
COUNTY OF DALLAS

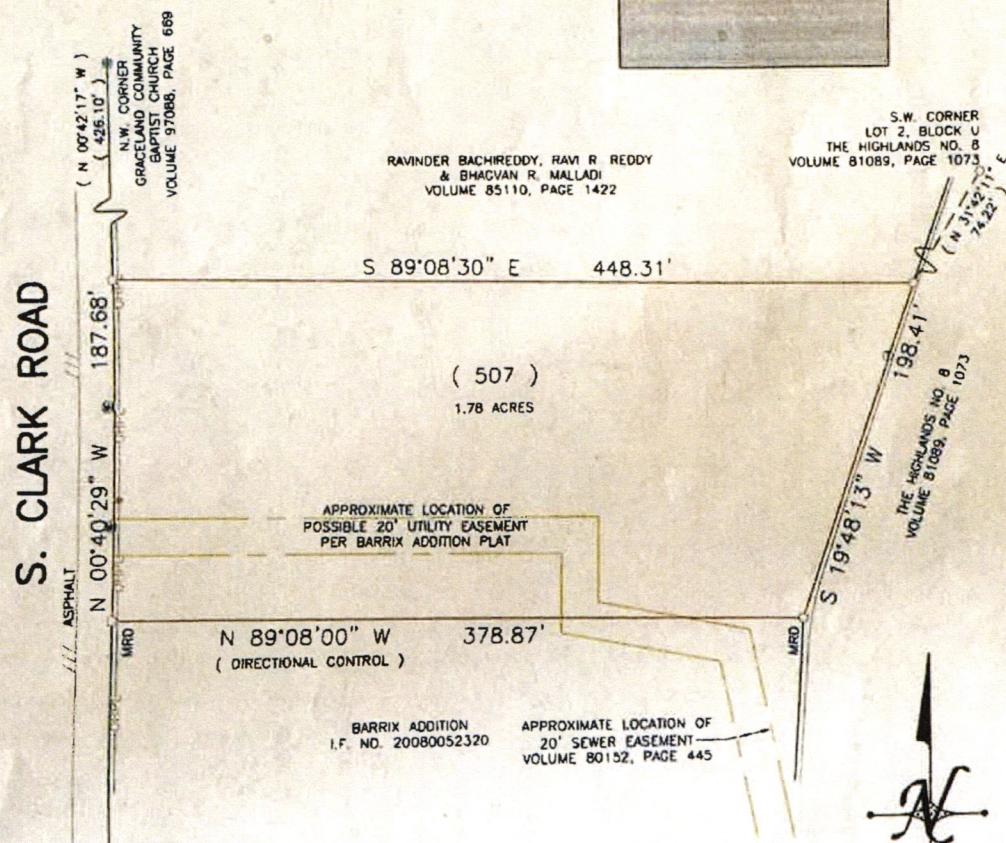
BEING a tract of land situated in the William Coombs Survey, Abstract No. 304, in the City of Cedar Hill, Dallas County, being a tract of land conveyed to Chapman, Ltd., as recorded in Volume 2003011, Page 1001 of the Deed Records of Dallas County, Texas, as shown on survey, and being more particularly described by metes and bounds as follows:

BEGINNING at a found 1/8-inch iron rod for corner on the east right-of-way line of S. Clark Road, being the northwest corner of Lot 1 of Harris Addition, an addition to the City of Cedar Hill, Dallas County, Texas, according to the plat recorded in Instrument File No. 20080052320 of the Plat Records of Dallas County, Texas, and being the southwest corner of a tract of land conveyed to Ravinder Bachireddy, Ravi R. Reddy, and Bhagvan R. Malladi, as recorded in Volume 85110, Page 1422 of the Deed Records of Dallas County, Texas;

THENCE along said right-of-way, South 89 degrees 08 minutes 30 seconds East, a distance of 448.31 feet to a found 1/8-inch iron rod for corner on the northwesterly right-of-way line of a 15 foot alley, being the southeast corner of said Bachireddy/Reddy/Malladi tract;

THENCE along said alley right-of-way, South 19 degrees 48 minutes 13 seconds West, a distance of 198.41 feet to a found 1/8-inch iron rod for corner, being the northeast corner of Lot 1 of Harris Addition;

THENCE leaving said alley right-of-way, North 89 degrees 08 minutes 00 seconds West, a distance of 378.87 feet to a PLATE OF BEGINNING and containing 1.78 acres of land.



ACCEPTED BY: _____

COMMUNITY
NATIONAL TITLE

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements, TITLE AND ABSTRACTING WORK FURNISHED BY COMMUNITY NATIONAL TITLE.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 80'

USE OF THIS SURVEY FOR ANY OTHER PURPOSE
OR OTHER PARTIES SHALL BE AT THEIR RISK AND
UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR
ANY LOSS RESULTING THEREFROM.

G. F. No.: 1805004494L

Job no.: 101165

Drawn by: KW

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR
COMMUNITY NATIONAL TITLE

