

ORDINANCE NO. 2020-712

AN ORDINANCE OF THE CITY OF CEDAR HILL, TEXAS AMENDING THE ZONING ORDINANCE, ORDINANCE NO. 2001-64, AS AMENDED; BY AMENDING ORDINANCE NO. 2020-696; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR CONFLICTS; AND PROVIDING AN EFFECTIVE DATE AND PUBLICATION.

WHEREAS, on the 25th day of February, 2020, following the receipt of a request from the owner of the property to adopt regulations, the City Council approved ordinance No. 2020-696, establishing this Planned Development District (PD No. 2020-696), which approved and incorporated a concept plan for approximately 25 acres of land generally located on the south side of Mansfield Road and the east and west sides of Anderson Road; and

WHEREAS, on July 24, 2001, City Council adopted Ordinance No. 2001-71, amending ordinance No. 2001-64 to incorporate building materials standards that are differentially applicable to residential and non-residential structures; and

WHEREAS, such standards substantially further the preservation of property values and the promotion of economic development within the City; and

WHEREAS, such standards also establish the character of community development and embody architecturally and, in some contexts, culturally significant features of continuing duration; and

WHEREAS, the City's Zoning Ordinance also provides for planned development districts, which enable departures from traditional zoning district standards in recognition of the unique character of a development project; and

WHEREAS, the City's policy in creating or amending a planned development district is to incorporate and enhance to the fullest extent feasible the design and building materials standards that are integral to the City's character and zoning regulations in all planned development districts; and

WHEREAS, the City Council finds and determines that the incorporation of such standards lends long-term viability to the planned development project; and

WHEREAS, this planned development district is subject to the design and building materials standards volunteered by the property owner and development of the property and incorporated into Ordinance No. 2020-696, Exhibit C; and

WHEREAS, a request for an amendment to Planned Development District No. 2020-696 to change the Commercial Subdistrict to single-family residential lots, was duly filed with the City of Cedar Hill, Texas, and was assigned case no. PD-267-2020; and

WHEREAS, the proposed amendment to the “PD” (Planned Development) District is accompanied by a Development Plan that depicts the proposed development for the single-family residential development; and

WHEREAS, the proposed amendment to the “PD” District is in conformance with the City's adopted Comprehensive Plan, as amended; and

WHEREAS, the City of Cedar Hill caused notice of the required public hearings regarding the zoning change to this Ordinance to be published in the Focus Daily News on August 30, 2020, and mailed notice to property owners within 200 feet of the subject property; and

WHEREAS, the City's Planning and Zoning Commission held a public hearing and accepted comments regarding the zoning change of this Ordinance on September 15, 2020; and

WHEREAS, following its public hearing, the Planning and Zoning Commission forwarded its report and recommendation regarding this Ordinance to the City Council; and

WHEREAS, the City Council, after conducting a public hearing on September 22, 2020, found the proposed amendment furthers the public health, safety and general welfare of the community; and the City of Cedar Hill.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CEDAR HILL, TEXAS, THAT:

SECTION 1 – SECTIONS 4 THROUGH 13. The paragraphs in Sections 4 – 13 are hereby deleted in their entirety and replaced with the following paragraphs:

SECTION 4 – PURPOSE AND INTENT. “The purpose and intent of this Planned Development District is to provide for single-family residential dwellings consistent with the design and character of surrounding development in accordance with the development standards as herein provided, and, in accordance with the associated Development Plan – **Exhibit “B”** and Single-Family Residential Building Elevations – **Exhibit “C”**.”

SECTION 5 – DEVELOPMENT PLAN. Development of this property shall be consistent with the Development Plan – **Exhibit “B”**; Single-Family Residential Building

Elevations – **Exhibit “C”**; Block Variety – **Exhibit “D”**; and Landscape Plan – **Exhibit “E”**. Any significant change in the information provided on those exhibits shall require an amendment to the Planned Development District in the same manner that it was created.

SECTION 6 – DEFINITIONS. The definitions in Section 5.8 of the “Zoning Ordinance” shall be applicable to this Planned Development District with the exception of those terms defined in this Section.

- A. *Conservation Area* – An area of land that is protected and that cannot be built on that would require the clear cutting of existing trees for a building pad. Passive recreation activities, such as a nature trail and/or small picnic areas may be permitted with approval.
- B. *Same Elevation* – The exterior front wall that is substantially the same, including but not limited to materials, design features and material colors. A change in colors and materials does not satisfy a different elevation.

SECTION 7 – AUTHORIZED LAND USES. The only land uses that shall be permitted are “single-family dwellings, detached” and “open space”.

SECTION 8 – DEVELOPMENT STANDARDS. The development standards in Section 3.8 of the Zoning Ordinance for the “SF-7” (Single Family Residential District – minimum 7,000 square foot lots) District shall be applicable except where stated in this section.

A. *Yard Requirements*

- 1. Minimum Front Yard (Fountain View Blvd., east of Anderson Rd.- north side only) – 30 feet
- 2. Minimum Side Yard (street) – 20 feet, corner lots contiguous to lots that have a single frontage
- 3. Minimum Side Yard (lots fronting Fountain View Blvd. east of Anderson Rd – on the south side) – 20 feet
- 4. There shall be no interior side yard or interior rear yard requirement for fences and masonry walls.

B. *Maximum Number of Dwelling Units* – The maximum number of dwelling units shall be 78 in this development with a maximum of one dwelling unit per lot.

C. *Structure Standards* – Structures shall adhere to the height requirements as follows:

- 1. Maximum Height – 35 feet

2. Minimum Living Area – 2,000 square feet

- D. *Minimum Off-street Parking* – Each dwelling unit shall have not less than a two (2) car garage which shall be attached and integrated into the design of the dwelling structure.
- E. *Building Design Standards* – The buildings shall be constructed in accordance with the residential building elevations in **Exhibit “C”**, which have been provided by the property owner as a standard for construction of future buildings.
- F. *Block Variety* – In order to avoid monotonous block patterns, this subdistrict shall incorporate the following elements. Also, refer to **Exhibit “D”** for illustration.

1. Alternating Elevations

- a. The same elevation, as defined, shall not be used within any 10-lot grouping as defined by two adjacent lots on either side of the subject property and the 5 lots immediately across the street from those same lots.
- b. When a block contains more than one, 10-lot grouping, the same elevations shall not be used within 2 lots on the same side(s) and directly across the street of subject site.

2. Building Mass and Form

- a. The front elevations shall incorporate at least three of the following design features to provide a visual relief. Additional design features may be approved by the Planning Director or Building Official at the time of building permit.

1. Dormers
2. Shutters
3. Gables
4. Enhanced roof line

5. Recessed entries, minimum of three (3) feet deep
 6. Covered porches
 7. Cupola
 8. Bay Windows, with a minimum of 24-inch projection
- b. Garage Design – Front entry garages shall be offset by a minimum of 3 feet from the building and the total width of the garage door(s) shall not occupy more than 40 percent of the ground-floor elevation. The offset shall not encroach onto the required yard setback.

G. *Sidewalks*

1. A 4-foot sidewalk shall be installed along the front of each lot, by the house builder at the time of construction, for each single-family residential dwelling.
2. A 4-foot sidewalk shall be installed when not fronting a lot, by the developer at the time of construction for the streets and infrastructure, to ensure connectivity within the neighborhood.
3. A 4-foot sidewalk shall be installed within the right-of-way, along the east side of Anderson Road to connect the development to Mansfield Road for trail access.

H. *Screening Walls and Fences* – Screening walls and fences requirements as described in Article XIV of the Code of Ordinance shall apply except as described in this section.

1. A 6-foot masonry wall shall be installed by the developer along the north boundary line, east of Anderson Road in accordance with the Development Plan. The wall sign portion shall be allowed to up to the right-of-way line of Anderson Road in accordance with the Development Plan.

2. A 6-foot masonry wall or a 6-foot wrought iron fence with shallow rooted shrubs and/or ornamental grass shall be installed by the Developer along the rear property lines located on the west side of Anderson Road.
3. A 6-foot wrought iron fence shall be required along the perimeter of HOA Lot #2 in accordance with the Development Plan.
4. Fences or walls shall not be installed beyond front yard, adjacent lot front yards and/or intersecting side yards.
5. All walls and/or fences shall have a 5-foot maintenance easement on private property.
6. All walls and fences required to be installed by the Developer in this section, shall be maintained by the HOA.

I. *Landscaping*

1. Landscape requirements as described in Section 5.2 of the Zoning Ordinance for residential uses shall apply.
2. All HOA lots shall be landscaped in accordance to the Landscape Plan.
3. All landscaped HOA lots per the Landscape Plan shall be irrigated with an automatic underground irrigation system and maintained by the HOA.
4. The landscape area located within the 50-foot right-of-way along the south end of the development shall be irrigated and maintained by the HOA.

SECTION 9 – OPEN SPACE/CONSERVATION AREAS.

- A. Open space and/or conservation areas shall be required as described in accordance to the Development Plan.
- B. All Open Space and Conservations Areas shall be maintained by the HOA.

SECTION 10 – ROAD DESIGN.

- A. All residential streets shall have a minimum width of 31 feet where there is no programmed, on-street parking.

- B. The portion of Anderson Road must be fully conveyed to the developer prior to the submittal of the Final Plat application.

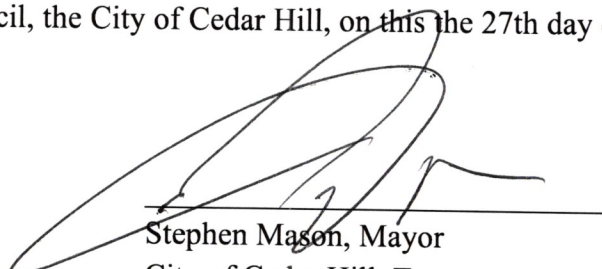
SECTION 2 – CONFLICTS. This ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances for the City of Cedar Hill, Texas, as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances and such Code, in which event, conflicting provisions of such ordinances and Code are hereby superseded.

SECTION 3 – SEVERABILITY. The terms and provisions of this ordinance shall be deemed to be severable and if the validity of any section, subsection, sentence, clause or phrase of this ordinance should be declared to be invalid, the same shall not affect the validity of any other section, subsection, sentence, clause or phrase of this Ordinance.

SECTION 4 – EFFECTIVE DATE. Because of the nature of the interests sought to be protected and of the safeguards sought to be provided by this Ordinance, and in the interest of the health, safety, and welfare of the citizens of Cedar Hill, Texas, this Ordinance shall take effect immediately after its passage, approval, and publication as required by law. The City Secretary is hereby authorized and directed to cause publication of the descriptive caption hereof as an alternative method of publication provided by law.

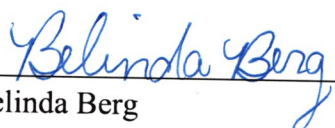
SECTION 5 – PUBLICATION. The City Secretary is hereby authorized and directed to cause publication of the descriptive caption and penalty clause hereof as an alternative method of publication provided by law.

PASSED AND APPROVED by the City Council, the City of Cedar Hill, on this the 27th day of October 2020.



Stephen Mason, Mayor
City of Cedar Hill, Texas

ATTEST:



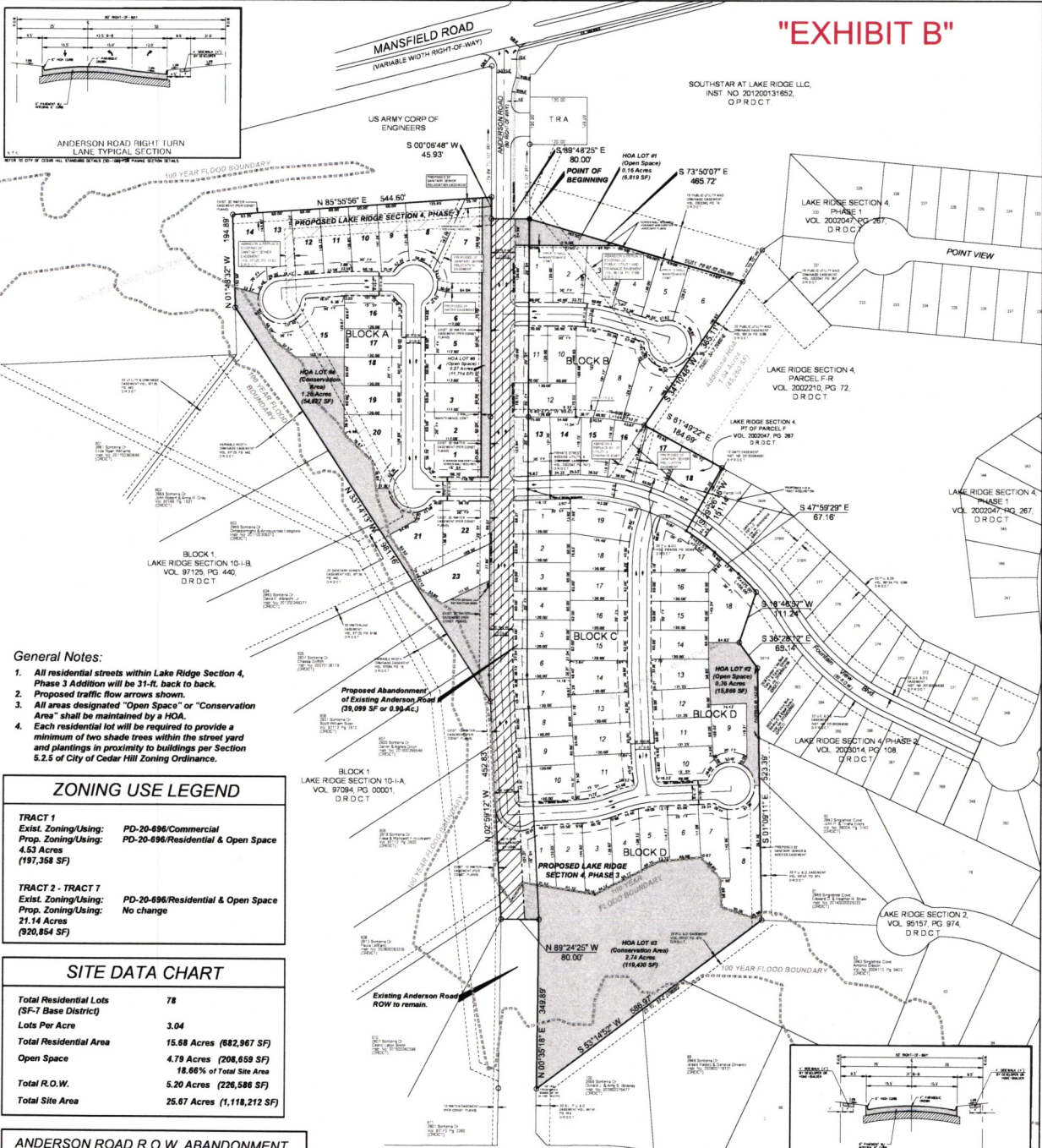
Belinda Berg
City Secretary

APPROVED AS TO FORM:

A handwritten signature in blue ink, appearing to read "Ron G. MacFarlane, Jr.", is written over a horizontal line.

Ron G. MacFarlane, Jr.
City Attorney

"EXHIBIT B"



General Notes:

1. All residential streets within Lake Ridge Section 4, Phase 3 Addition will be 31-ft. back to back.
2. Proposed traffic flow arrows shown.
3. All areas designated "Open Space" or "Conservation Area" shall be maintained by a HOA.
4. Each residential lot will be required to provide a minimum of two shade trees within the street yard and plantings in proximity to buildings per Section 5.2.5 of City of Cedar Hill Zoning Ordinance.

ZONING USE LEGEND

TRACT 1	
Exist. Zoning/Using:	PD-20-696/Commercial
Prop. Zoning/Using:	PD-20-696/Residential & Open Space
4.53 Acres	
(197,358 SF)	
TRACT 2 - TRACT 1	
Exist. Zoning/Using:	PD-20-696/Residential & Open Space
Prop. Zoning/Using:	No change
21.14 Acres	
(920,854 SF)	

SITE DATA CHART

Total Residential Lots (SF-7 Base District)	78
Lots Per Acre	3.04
Total Residential Area	15.68 Acres (682,967 SF)
Open Space	4.79 Acres (208,659 SF)
	18.66% of Total Site Area
Total R.O.W.	5.20 Acres (226,586 SF)
Total Site Area	25.67 Acres (1,118,212 SF)

ANDERSON ROAD R.O.W. ABANDONMENT

Existing R.O.W. (Area)	2.68 Acres (116,861 SF)
Proposed R.O.W. Abandonment (Area)	0.90 Acres (39,099 SF)

OPEN SPACE

Total Open Space	4.79 Acres (208,659 SF)
within a Floodplain	2.95 Acres (128,455 SF)
outside a Floodplain	1.84 Acres (80,204 SF)



NORTH

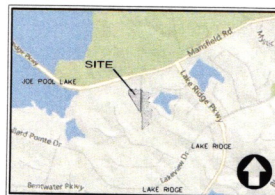
GRAPHIC SCALE



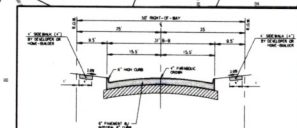
DEVELOPMENT PLAN - ZONING CHANGE REQUEST
ANDERSON TRACT - PLANNED DEVELOPMENT
 25.67 ACRES OUT OF THE JOHN N. GAINER SURVEY, A-432
 City of Cedar Hill, Dallas County, Texas
 September, 2020

OWNERS / DEVELOPERS
 Thomas M. Gaubert
 1130 North Westmoreland Road
 Dallas, Texas 75115
 (972) 274-0001

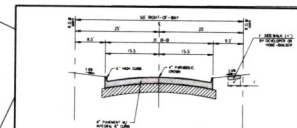
Prepared by
dietz engineering
 209 E. Main Street
 Mesquite, Texas 75150
 (972) 923-0273
 State firm no. 1-5048



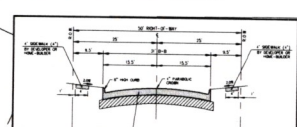
VICINITY MAP
 N.T.S.



TYPICAL RESIDENTIAL STREET & FOUNTAIN VIEW BLVD. SECTION



TYPICAL STREET SECTION
 ANDERSON ROAD
 (NORTH OF FOUNTAIN VIEW BLVD.)



TYPICAL STREET SECTION
 ANDERSON ROAD
 (SOUTH OF FOUNTAIN VIEW BLVD.)



85% Masonry
15% Stucco, fiber cementitious siding



85% Masonry
15% Stucco, fiber cementitious siding



85% Masonry
15% Stucco, fiber cementitious siding

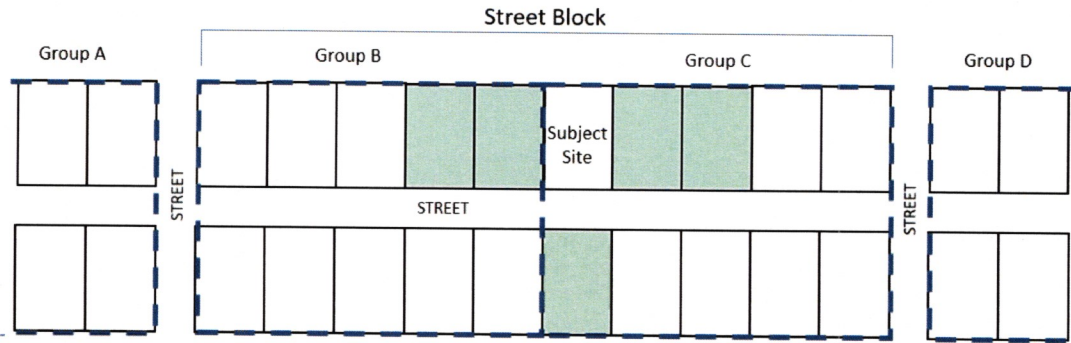


85% Masonry
15% Stucco, fiber cementitious siding



85% Masonry
15% Stucco, fiber cementitious siding

EXHIBIT "D" – BLOCK VARIETY



"EXHIBIT E"

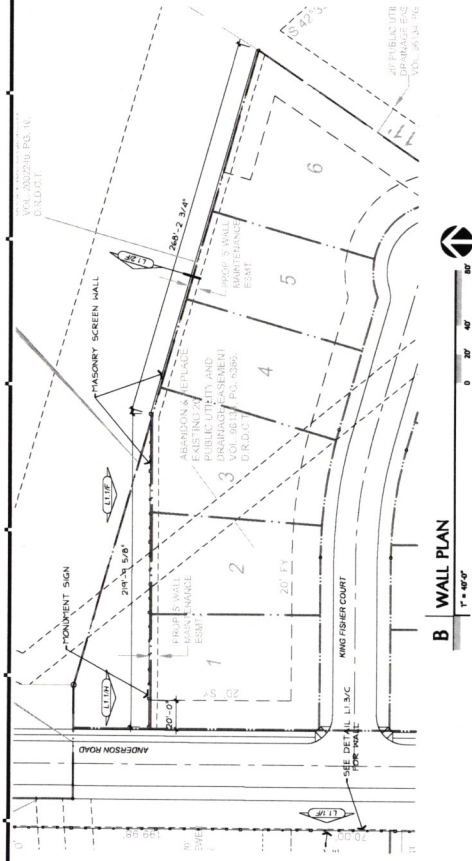
PAGE 1 OF 3

C PREPARATION GENERAL NOTES

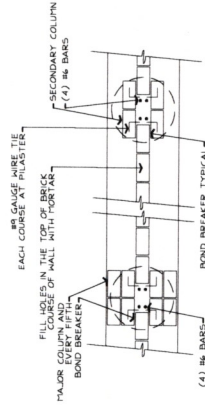
1. PLAN PREPARED BY:
KENDALL S. LANDSCAPE ARCHITECTURE
647N SANTA BARBARA
DALLAS, TEXAS 75204
PHONE: (214) 749-1026
E-MAIL: TK@KENDALL7.COM
TEXAS LANDSCAPE ARCHITECT LICENSE NO. 1127
2. IF A LIVE UTILITY IS ENCOUNTERED DURING EXCAVATION, CONTACT OWNER'S REPRESENTATIVE.
3. THE LANDSCAPE ARCHITECT HAS NOT PLANT INSULATION.
4. ALL PLANTING DETAILS ARE TYPICAL.
5. ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS MUST BE EITHER HYDROMULCHING OR SOLID SOODED UNLESS NOTED.
6. EACH LOT WILL BE REQUIRED TO PROVIDE 2 SHADE TREES WITHIN THE STREET YARD AND SHRUBS IN THE PROXIMITY TO BUILDING, PER SECTION 5.2.5 OF THE ZONING ORDINANCE.

D PLANTING GENERAL NOTES

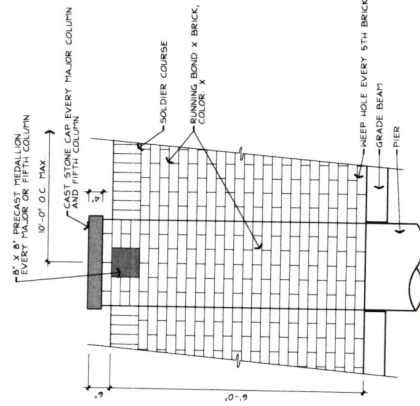
1. ALL SOIL EXCAVATION MAY BE DISPOSED OF ON SITE.
2. IF A LIVE UTILITY IS ENCOUNTERED DURING EXCAVATION, CONTACT OWNER'S REPRESENTATIVE.
3. THE LANDSCAPE ARCHITECT HAS NOT PLANT INSULATION.
4. ALL PLANTING DETAILS ARE TYPICAL.
5. ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS MUST BE EITHER HYDROMULCHING OR SOLID SOODED UNLESS NOTED.
6. EACH LOT WILL BE REQUIRED TO PROVIDE 2 SHADE TREES WITHIN THE STREET YARD AND SHRUBS IN THE PROXIMITY TO BUILDING, PER SECTION 5.2.5 OF THE ZONING ORDINANCE.



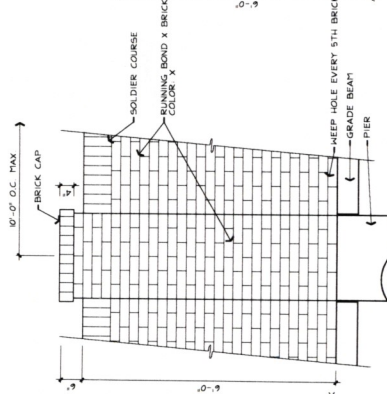
B WALL PLAN
1" = 40'-0"



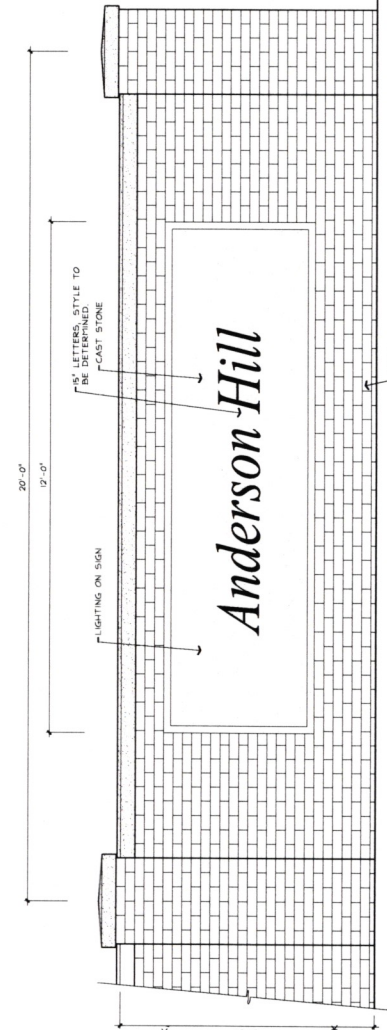
E WALL STRUCTURAL PLAN
3/4" = 1'-0"



F MAJOR COLUMN ELEVATION
3/4" = 1'-0"



G MINOR COLUMN ELEVATION
3/4" = 1'-0"

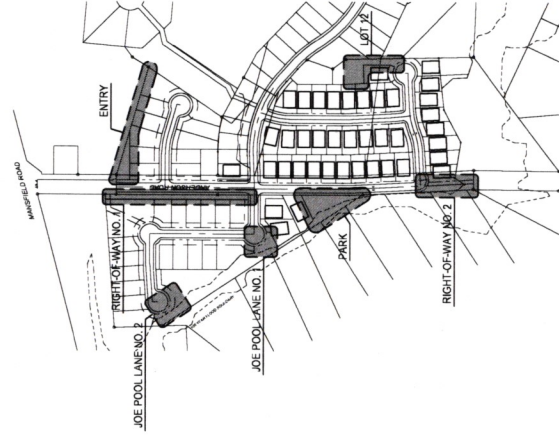


H MONUMENT SIGN
3/4" = 1'-0"



ANDERSON ROAD
CEDAR HILL, TEXAS

A KEY PLAN
1/8" = 1'-0"



22 September 2020

WALL PLAN

1:1

"EXHIBIT E"

PAGE 2 OF 3

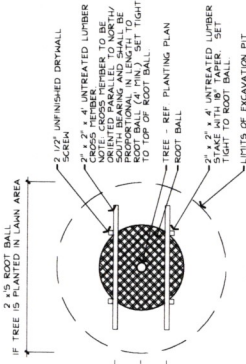
F PLANT LISTING

ALL SIZES SHOWN ARE MINIMUM. SMALLER CONTAINERS MEETING THE SPECIFIED HEIGHT AND SPREAD WILL NOT BE ACCEPTED.

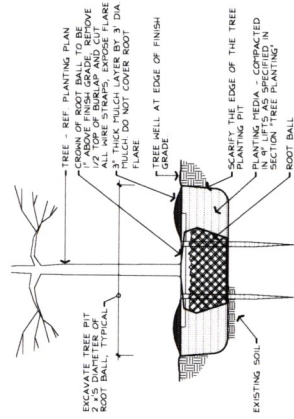
BOTANIC NAME	COMMON NAME	SIZE	DESCRIPTION	QUANTITY
TREES				
PLATANUS TEXANA	MEXICAN SYCAMORE	45 GALLON CONTAINER, 3'-3" 1/2" CALIPER, 6' - 7' HEIGHT, 3'-4" SPREAD	SINGLE STRAIGHT LEADER	4
QUERCUS MACROCARPA	BUR OAK	45 GALLON CONTAINER, 3'-3" 1/2" CALIPER, 6' - 7' HEIGHT, 3'-4" SPREAD	SINGLE STRAIGHT LEADER	10
QUERCUS MUEHLBERGII	CHINGQUIP OAK	45 GALLON CONTAINER, 3'-3" 1/2" CALIPER, 6' - 7' HEIGHT, 3'-4" SPREAD	SINGLE STRAIGHT LEADER	10
QUERCUS SPPARDII	SHUPARD RED OAK	45 GALLON CONTAINER, 3'-3" 1/2" CALIPER, 6' - 7' HEIGHT, 3'-4" SPREAD	SINGLE STRAIGHT LEADER	4
QUERCUS VIRGINIANA	LIVE OAK	45 GALLON CONTAINER, 3'-3" 1/2" CALIPER, 6' - 7' HEIGHT, 3'-4" SPREAD	SINGLE STRAIGHT LEADER	4
QUERCUS VIRGINIANA	LIVE OAK	45 GALLON CONTAINER, 3'-3" 1/2" CALIPER, 6' - 7' HEIGHT, 3'-4" SPREAD	SINGLE STRAIGHT LEADER	2
PISTACHIO CHINENSIS	PISTACHIO	45 GALLON CONTAINER, 3'-3" 1/2" CALIPER, 6' - 7' HEIGHT, 3'-4" SPREAD	SINGLE STRAIGHT LEADER	2
VITEX AGNUS-CASTUS	VITEX	30 GALLON CONTAINER, 3'-3" 1/2" CALIPER, 4' - 5' HEIGHT, 3'-4" SPREAD	SINGLE STRAIGHT LEADER	8
LAGERSTROEMIA INDICA "NATCHEZ"	"NATCHEZ" GRAPE HYDRANGEA	30 GALLON CONTAINER, 3'-3" 1/2" CALIPER, 4' - 5' HEIGHT, 3'-4" SPREAD	POLY-T-TRUNK	4
CHLOPSIS LINEARIS	DESERT HILL	30 GALLON CONTAINER, 3'-3" 1/2" CALIPER, 7' - 8' HEIGHT, 4'-5" SPREAD	POLY-T-TRUNK	4
LYNN				
CYNODON DPP				
BERBERIS GRASS - SOLD 500				

WHERE SIDEWALKS ARE TO BE INSTALLED BY DEVELOPER, DEVELOPER SHALL FINISH AREA WITH GRASS.

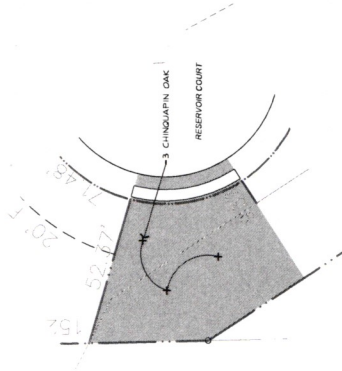
ANDERSON ROAD CEDAR HILL, TEXAS



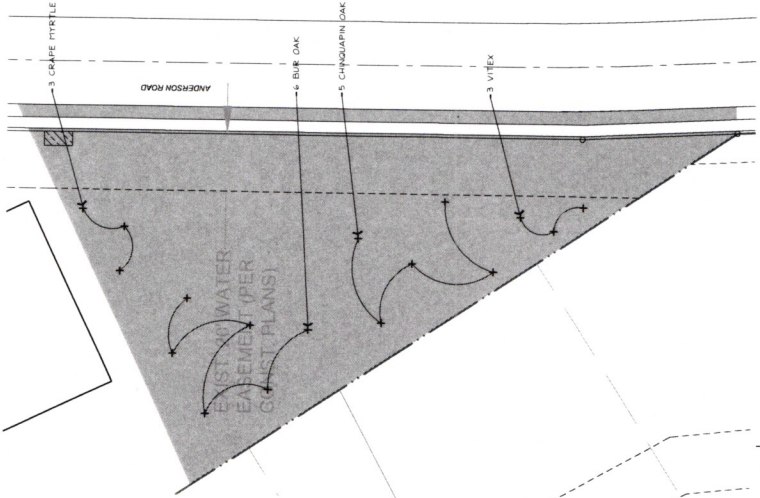
B TYPICAL TREE STAKING - PLAN
1/2" = 1'0"



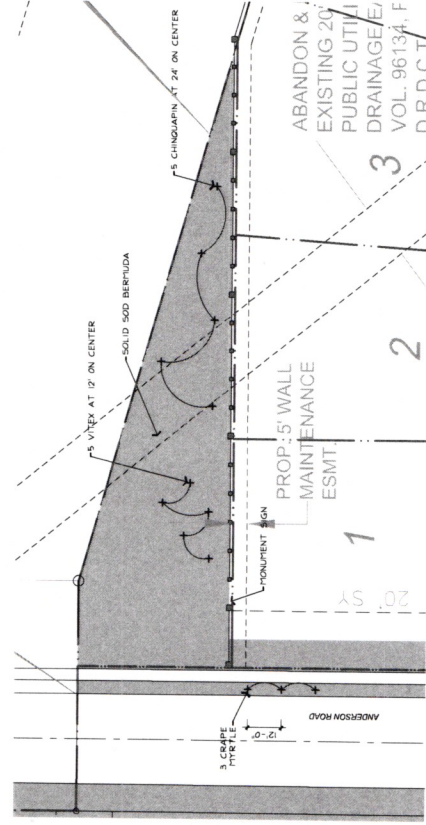
C TREE PLANTING IN LAWN - SECTION
1/2" = 1'0"



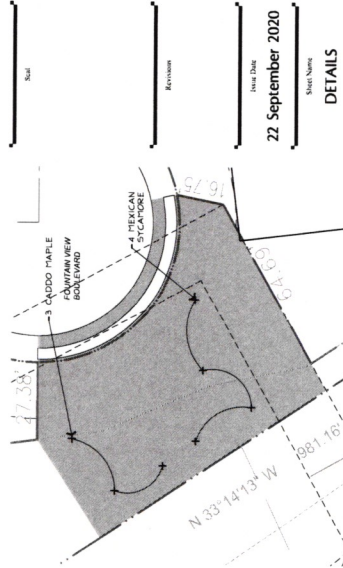
C JOE POOL LANE NO. 2 - PLANTING PLAN
1" = 20'0"



C PARK - PLANTING PLAN
1" = 20'0"



C ENTRY - PLANTING PLAN
1" = 20'0"



C JOE POOL LANE NO. 1 - PLANTING PLAN
1" = 20'0"

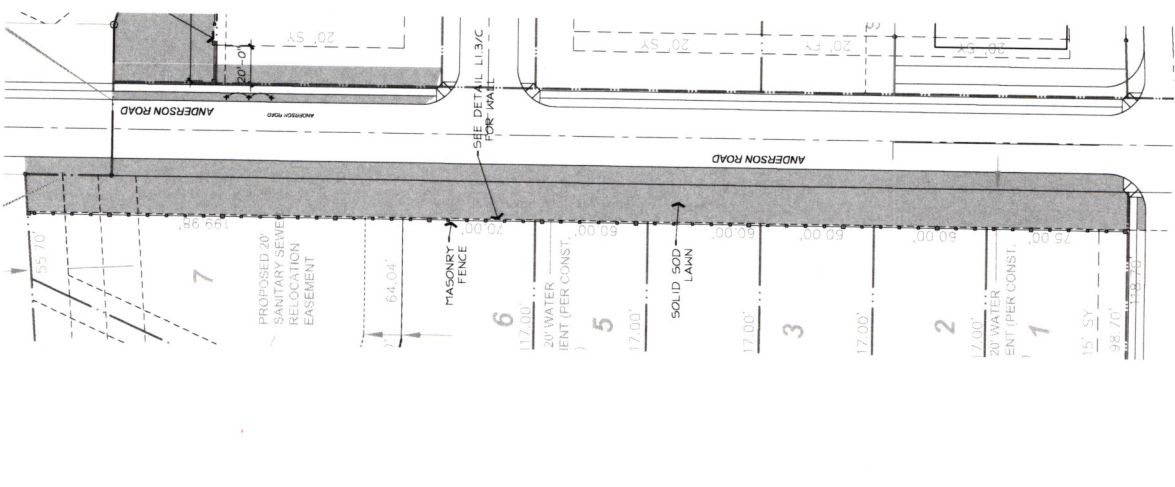
22 September 2020

DETAILS

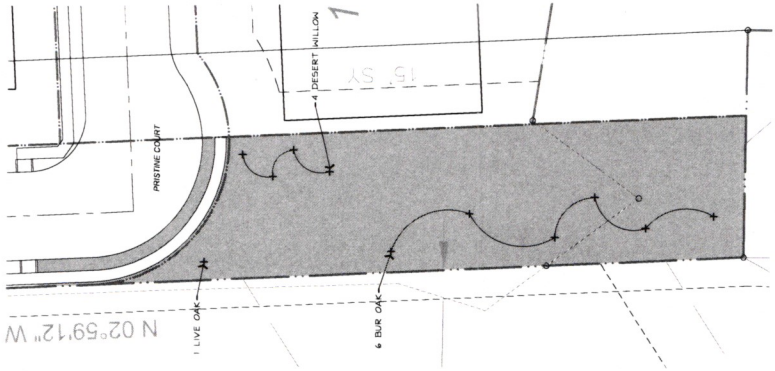
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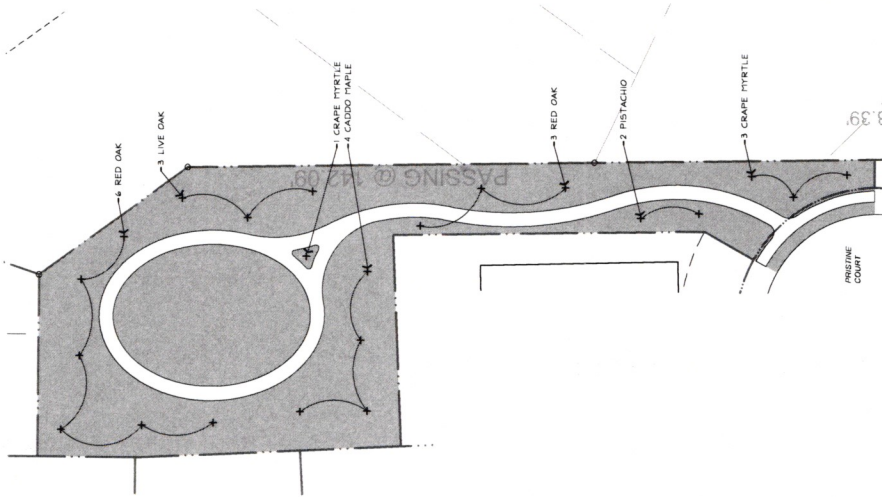
ANDERSON ROAD
CEDAR HILL, TEXAS



C RIGHT-OF-WAY NO. 1 - WALL AND PLANTING PLAN



B RIGHT-OF-WAY NO. 2 - PLANTING PLAN



A LOT 12 - PLANTING PLAN - DOG PARK

Scale	1" = 20'-0"
Revision	
Date	22 September 2020
Details	
Sheet	L13