

ORDINANCE NO. 2020-712

**AN ORDINANCE OF THE CITY OF CEDAR HILL, TEXAS AMENDING
THE ZONING ORDINANCE, ORDINANCE NO. 2001-64, AS AMENDED;
BY AMENDING ORDINANCE NO. 2020-696; PROVIDING FOR A
SEVERABILITY CLAUSE; PROVIDING FOR CONFLICTS; AND
PROVIDING AN EFFECTIVE DATE AND PUBLICATION.**

WHEREAS, on the 25th day of February, 2020, following the receipt of a request from the owner of the property to adopt regulations, the City Council approved ordinance No. 2020-696, establishing this Planned Development District (PD No. 2020-696), which approved and incorporated a concept plan for approximately 25 acres of land generally located on the south side of Mansfield Road and the east and west sides of Anderson Road; and

WHEREAS, on July 24, 2001, City Council adopted Ordinance No. 2001-71, amending ordinance No. 2001-64 to incorporate building materials standards that are differentially applicable to residential and non-residential structures; and

WHEREAS, such standards substantially further the preservation of property values and the promotion of economic development within the City; and

WHEREAS, such standards also establish the character of community development and embody architecturally and, in some contexts, culturally significant features of continuing duration; and

WHEREAS, the City's Zoning Ordinance also provides for planned development districts, which enable departures from traditional zoning district standards in recognition of the unique character of a development project; and

WHEREAS, the City's policy in creating or amending a planned development district is to incorporate and enhance to the fullest extent feasible the design and building materials standards that are integral to the City's character and zoning regulations in all planned development districts; and

WHEREAS, the City Council finds and determines that the incorporation of such standards lends long-term viability to the planned development project; and

WHEREAS, this planned development district is subject to the design and building materials standards volunteered by the property owner and development of the property and incorporated into Ordinance No. 2020-696, Exhibit C; and

WHEREAS, a request for an amendment to Planned Development District No. 2020-696 to change the Commercial Subdistrict to single-family residential lots, was duly filed with the City of Cedar Hill, Texas, and was assigned case no. PD-267-2020; and

WHEREAS, the proposed amendment to the “PD” (Planned Development) District is accompanied by a Development Plan that depicts the proposed development for the single-family residential development; and

WHEREAS, the proposed amendment to the “PD” District is in conformance with the City's adopted Comprehensive Plan, as amended; and

WHEREAS, the City of Cedar Hill caused notice of the required public hearings regarding the zoning change to this Ordinance to be published in the Focus Daily News on August 30, 2020, and mailed notice to property owners within 200 feet of the subject property; and

WHEREAS, the City's Planning and Zoning Commission held a public hearing and accepted comments regarding the zoning change of this Ordinance on September 15, 2020; and

WHEREAS, following its public hearing, the Planning and Zoning Commission forwarded its report and recommendation regarding this Ordinance to the City Council; and

WHEREAS, the City Council, after conducting a public hearing on September 22, 2020, found the proposed amendment furthers the public health, safety and general welfare of the community; and the City of Cedar Hill.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CEDAR HILL, TEXAS, THAT:

SECTION 1 – SECTIONS 4 THROUGH 13. The paragraphs in Sections 4 – 13 are hereby deleted in their entirety and replaced with the following paragraphs:

SECTION 4 – PURPOSE AND INTENT. “The purpose and intent of this Planned Development District is to provide for single-family residential dwellings consistent with the design and character of surrounding development in accordance with the development standards as herein provided, and, in accordance with the associated Development Plan – **Exhibit “B”** and Single-Family Residential Building Elevations – **Exhibit “C”**.

SECTION 5 – DEVELOPMENT PLAN. Development of this property shall be consistent with the Development Plan – **Exhibit “B”**; Single-Family Residential Building

Elevations – **Exhibit “C”**; Block Variety – **Exhibit “D”**; and Landscape Plan – **Exhibit “E”**. Any significant change in the information provided on those exhibits shall require an amendment to the Planned Development District in the same manner that it was created.

SECTION 6 – DEFINITIONS. The definitions in Section 5.8 of the “Zoning Ordinance” shall be applicable to this Planned Development District with the exception of those terms defined in this Section.

- A. *Conservation Area* – An area of land that is protected and that cannot be built on that would require the clear cutting of existing trees for a building pad. Passive recreation activities, such as a nature trail and/or small picnic areas may be permitted with approval.
- B. *Same Elevation* – The exterior front wall that is substantially the same, including but not limited to materials, design features and material colors. A change in colors and materials does not satisfy a different elevation.

SECTION 7 – AUTHORIZED LAND USES. The only land uses that shall be permitted are “single-family dwellings, detached” and “open space”.

SECTION 8 – DEVELOPMENT STANDARDS. The development standards in Section 3.8 of the Zoning Ordinance for the “SF-7” (Single Family Residential District – minimum 7,000 square foot lots) District shall be applicable except where stated in this section.

- A. *Yard Requirements*
 1. Minimum Front Yard (Fountain View Blvd., east of Anderson Rd.- north side only) – 30 feet
 2. Minimum Side Yard (street) – 20 feet, corner lots contiguous to lots that have a single frontage
 3. Minimum Side Yard (lots fronting Fountain View Blvd. east of Anderson Rd – on the south side) – 20 feet
 4. There shall be no interior side yard or interior rear yard requirement for fences and masonry walls.
- B. *Maximum Number of Dwelling Units* – The maximum number of dwelling units shall be 78 in this development with a maximum of one dwelling unit per lot.
- C. *Structure Standards* – Structures shall adhere to the height requirements as follows:
 1. Maximum Height – 35 feet

2. Minimum Living Area – 2,000 square feet
- D. *Minimum Off-street Parking* – Each dwelling unit shall have not less than a two (2) car garage which shall be attached and integrated into the design of the dwelling structure.
- E. *Building Design Standards* – The buildings shall be constructed in accordance with the residential building elevations in **Exhibit “C”**, which have been provided by the property owner as a standard for construction of future buildings.
- F. *Block Variety* – In order to avoid monotonous block patterns, this subdistrict shall incorporate the following elements. Also, refer to **Exhibit “D”** for illustration.

1. Alternating Elevations

- a. The same elevation, as defined, shall not be used within any 10-lot grouping as defined by two adjacent lots on either side of the subject property and the 5 lots immediately across the street from those same lots.
- b. When a block contains more than one, 10-lot grouping, the same elevations shall not be used within 2 lots on the same side(s) and directly across the street of subject site.

2. Building Mass and Form

- a. The front elevations shall incorporate at least three of the following design features to provide a visual relief. Additional design features may be approved by the Planning Director or Building Official at the time of building permit.

1. Dormers

2. Shutters

3. Gables

4. Enhanced roof line

5. Recessed entries, minimum of three (3) feet deep
6. Covered porches
7. Cupola
8. Bay Windows, with a minimum of 24-inch projection

- b. Garage Design – Front entry garages shall be offset by a minimum of 3 feet from the building and the total width of the garage door(s) shall not occupy more than 40 percent of the ground-floor elevation. The offset shall not encroach onto the required yard setback.

G. Sidewalks

1. A 4-foot sidewalk shall be installed along the front of each lot, by the house builder at the time of construction, for each single-family residential dwelling.
2. A 4-foot sidewalk shall be installed when not fronting a lot, by the developer at the time of construction for the streets and infrastructure, to ensure connectivity within the neighborhood.
3. A 4-foot sidewalk shall be installed within the right-of-way, along the east side of Anderson Road to connect the development to Mansfield Road for trail access.

H. Screening Walls and Fences – Screening walls and fences requirements as described in Article XIV of the Code of Ordinance shall apply except as described in this section.

1. A 6-foot masonry wall shall be installed by the developer along the north boundary line, east of Anderson Road in accordance with the Development Plan. The wall sign portion shall be allowed to up to the right-of-way line of Anderson Road in accordance with the Development Plan.

2. A 6-foot masonry wall or a 6-foot wrought iron fence with shallow rooted shrubs and/or ornamental grass shall be installed by the Developer along the rear property lines located on the west side of Anderson Road.
3. A 6-foot wrought iron fence shall be required along the perimeter of HOA Lot #2 in accordance with the Development Plan.
4. Fences or walls shall not be installed beyond front yard, adjacent lot front yards and/or intersecting side yards.
5. All walls and/or fences shall have a 5-foot maintenance easement on private property.
6. All walls and fences required to be installed by the Developer in this section, shall be maintained by the HOA.

I. *Landscaping*

1. Landscape requirements as described in Section 5.2 of the Zoning Ordinance for residential uses shall apply.
2. All HOA lots shall be landscaped in accordance to the Landscape Plan.
3. All landscaped HOA lots per the Landscape Plan shall be irrigated with an automatic underground irrigation system and maintained by the HOA.
4. The landscape area located within the 50-foot right-of-way along the south end of the development shall be irrigated and maintained by the HOA.

SECTION 9 – OPEN SPACE/CONSERVATION AREAS.

- A. Open space and/or conservation areas shall be required as described in accordance to the Development Plan.
- B. All Open Space and Conservations Areas shall be maintained by the HOA.

SECTION 10 – ROAD DESIGN.

- A. All residential streets shall have a minimum width of 31 feet where there is no programmed, on-street parking.

B. The portion of Anderson Road must be fully conveyed to the developer prior to the submittal of the Final Plat application.

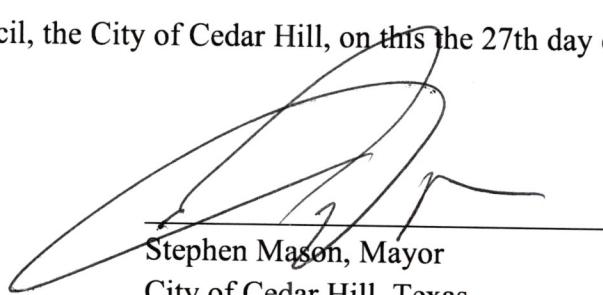
SECTION 2 – CONFLICTS. This ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances for the City of Cedar Hill, Texas, as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances and such Code, in which event, conflicting provisions of such ordinances and Code are hereby superseded.

SECTION 3 – SEVERABILITY. The terms and provisions of this ordinance shall be deemed to be severable and if the validity of any section, subsection, sentence, clause or phrase of this ordinance should be declared to be invalid, the same shall not affect the validity of any other section, subsection, sentence, clause or phrase of this Ordinance.

SECTION 4 – EFFECTIVE DATE. Because of the nature of the interests sought to be protected and of the safeguards sought to be provided by this Ordinance, and in the interest of the health, safety, and welfare of the citizens of Cedar Hill, Texas, this Ordinance shall take effect immediately after its passage, approval, and publication as required by law. The City Secretary is hereby authorized and directed to cause publication of the descriptive caption hereof as an alternative method of publication provided by law.

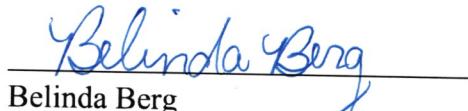
SECTION 5 – PUBLICATION. The City Secretary is hereby authorized and directed to cause publication of the descriptive caption and penalty clause hereof as an alternative method of publication provided by law.

PASSED AND APPROVED by the City Council, the City of Cedar Hill, on this the 27th day of October 2020.



Stephen Mason, Mayor
City of Cedar Hill, Texas

ATTEST:



Belinda Berg
City Secretary

APPROVED AS TO FORM:

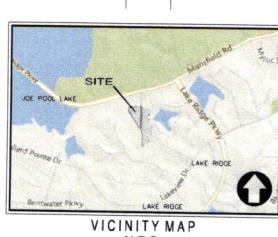
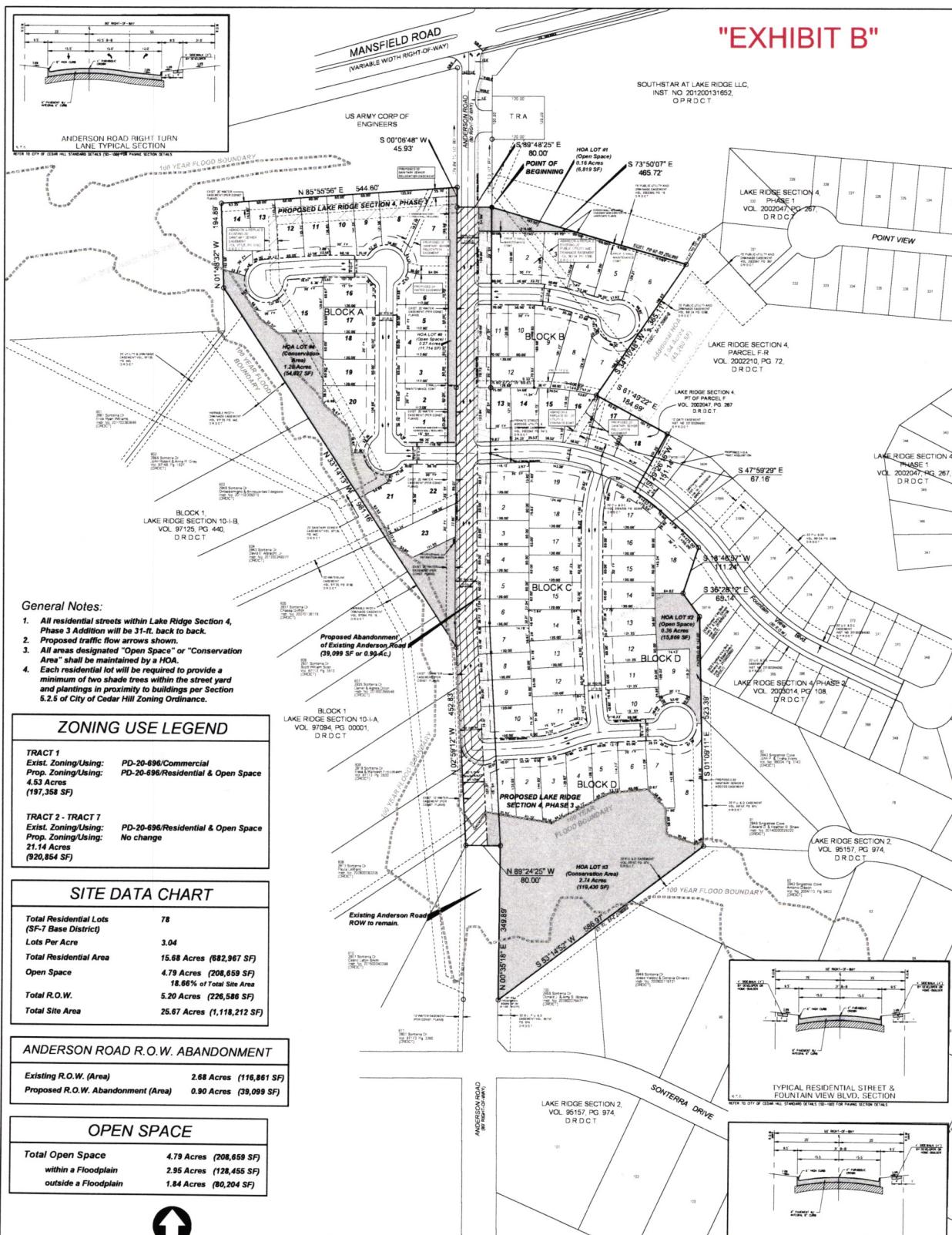


Ron G. MacFarlane, Jr.

City Attorney

"EXHIBIT B"

SOUTHSTAR AT LAKE RIDGE LLC,
INST. NO. 201200131652,
O.P.R.D.C.T.



1 inch = 100ft.

DEVELOPMENT PLAN - ZONING CHANGE REQUEST

ANDERSON TRACT - PLANNED DEVELOPMENT

25.67 ACRES OUT OF THE JOHN N. GAINER SURVEY, A-432

City of Cedar Hill, Dallas County, Texas

September, 2020

OWNERS / DEVELOPERS

OWNERS/DEVELOPERS:
Thomas M. Gaubert 1130 North Westmoreland Road DeSoto, Texas 75115 (972) 274-0001 Harwood Funds, LLC 1112 Serenade Lane Richardson, Texas 75081 (972) 783-9128

Prepared by:
dietz engineering
209 E. Main Street
Waxahachie, Texas 75165
(972) 923-0273
tbpe firm no. f-5049

LAKE RIDGE
VICINITY MAP
N.T.S.

SHEET 1 of 1



85% Masonry
15% Stucco, fiber cementitious siding



85% Masonry
15% Stucco, fiber cementitious siding



85% Masonry
15% Stucco, fiber cementitious siding

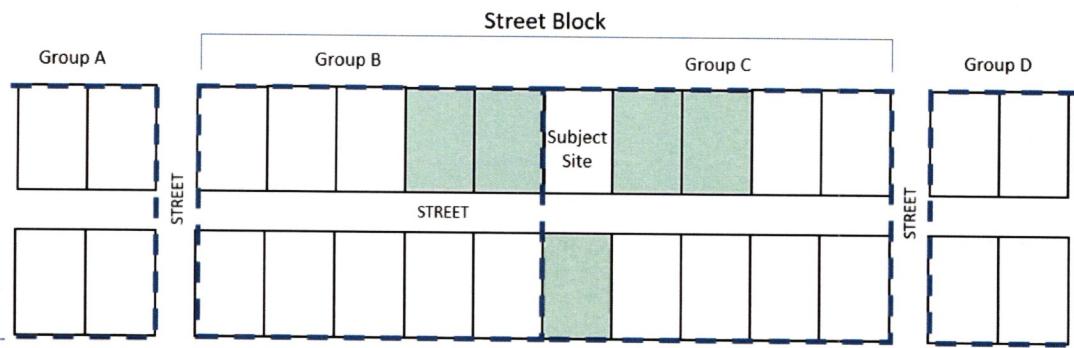


85% Masonry
15% Stucco, fiber cementitious siding



85% Masonry
15% Stucco, fiber cementitious siding

EXHIBIT "D" – BLOCK VARIETY



"EXHIBIT E"
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C PREPARATION GENERAL NOTES

1. PLAN PREPARED BY:
MICHAEL S. KENDALL

PLANTING GENERAL NOTES

1. ALL SOIL EXCAVATION MAY BE DISPOSED OF
2. IF EARTH UTILITY IS ENCOUNTERED DURING
CONTACT OWNER OR REPRESENTATIVE
3. ALL PLANT MATERIAL SHALL BE STAGED
4. ALL PLANT MATERIAL SHALL BE STAGED
5. THE LANDSCAPE ARCHITECT PRIOR TO PLANTING
6. ALL PLANTING DETAILS ARE TYPICAL
7. EARTH WILL BE REQUIRED TO PRODUCE
8. KILLING THE STREET, TARD, AND SHRUBS
9. BUILDING, PER SECTION 5.9 OF THE 2001
10. TEXAS LANDSCAPE ARCHITECT LICENSE

CEDAR HILL, TEXAS

B | WALL PLAN

A KEY PLAN

This architectural wall plan illustrates a rectangular brick wall with a central rectangular opening. The wall is 20'-0" wide and 8'-0" high. The opening is 15' wide and 5' high, with the text 'Anderson Hill' centered within it. The wall is labeled 'BRICK' at the top right. A 'MONUMENT SIGN' is shown at the bottom right. The plan includes a 'Soil' layer at the top, a 'Reinforcement' layer, and a 'Neat & Clean' note. The date '22 September 2020' is also present. A note on the left specifies '15' LETTERS, 5' TALL TO BE DETERMINED ON CAST STONE'.

F		MAJOR COLUMN ELEVATION	G		MINOR COLUMN ELEVATION
$14\text{ft} = 140\text{ in}$			$14\text{ft} = 140\text{ in}$		

H MONUMENT SIGN

111

171



ANDERSON ROAD
CEDAR HILL, TEXAS

"EXHIBIT E"
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