

ORDINANCE NO. 2023-778

AN ORDINANCE OF THE CITY OF CEDAR HILL, TEXAS AMENDING THE ZONING ORDINANCE, ORDINANCE NO. 2001-64, AS AMENDED; CHANGING THE ZONING MAP DISTRICT CLASSIFICATION OF CERTAIN PROPERTY LOCATED AT THE WEST TERMINUS OF SHOWCASE DRIVE, WEST OF NORTH CANNADY DRIVE AND LEGALLY DESCRIBED AS A PORTION OF LOT 8, BLOCK C OF THE CEDAR HILL CROSSING ADDITION, FROM THE “LR” (LOCAL RETAIL) DISTRICT TO THE “PD” (PLANNED DEVELOPMENT) DISTRICT; INCORPORATING A DEVELOPMENT PLAN, CONCEPTUAL BUILDING ELEVATIONS, ORNAMENTAL SIDING CONCEPTS, GARAGE DOOR CONCEPTS, BUILDING ELEVATION VARIETY, DECORATIVE LIGHT STANDARDS, DECORATIVE SIGNAGE, AND A CONSENT FORM; ESTABLISHING SPECIFIC DEVELOPMENT AND DESIGN STANDARDS; ADOPTING DEVELOPMENT STANDARDS; PROVIDING FOR A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING AN EFFECTIVE DATE; PROVIDING FOR PENALTIES; AND PROVIDING FOR PUBLICATION.

WHEREAS, the owner of the Property, as defined in Section 1 below, duly filed a request with the City of Cedar Hill, Texas (the “City”), for a change in zoning classification from the “LR” (Local Retail) District to the “PD” (Planned Development) District, and was assigned case no. PD-516-2022; and

WHEREAS, the City Council of the City (the “City Council”), is authorized and empowered by law, in accordance with Chapter 211 of the Texas Local Government Code, to adopt zoning regulations governing the use of land within the City; and

WHEREAS, on July 24, 2001, City Council adopted Ordinance No. 2001-71, amending ordinance No. 2001-64, being Chapter 23, entitled “Zoning Ordinance” of the Code of Ordinances of the City (the “City’s Zoning Ordinance”) to incorporate land use and building materials standards that are differentially applicable to residential and non-residential structures; and

WHEREAS, such standards substantially further the preservation of property values and the promotion of economic development within the City; and

WHEREAS, such standards also establish the character of community development and embody architecturally and, in some contexts, culturally significant features of continuing duration; and

WHEREAS, the City's Zoning Ordinance also provides for planned development districts, which enable departures from traditional zoning district standards in recognition of the unique character of a development project; and

WHEREAS, the City's policy in creating or amending a planned development district is to incorporate and fully enhance feasible design and building materials standards that are integral to the City's character and zoning regulations in all planned development districts; and

WHEREAS, the City Council finds and determines that the incorporation of such standards lends long-term viability to the planned development project; and

WHEREAS, the owner and/or developer who applied for and requested the planned development district established by this Ordinance stated in the application that the development of the Property warrants the architectural and building material standards contained in this Ordinance; and

WHEREAS, the owner and/or developer of the Property has consented in writing to the enforcement of the design and building materials standards within the planned development district.

WHEREAS, the zoning classification of the Property and the surrounding area are shown on **Exhibit "A"**, attached hereto and incorporated as if fully set forth herein; and

WHEREAS, the proposed Planned Development District (herein "PD District") is accompanied by a Development Plan that depicts the proposed development, which is shown on **Exhibit "C"**; and

WHEREAS, the requested "PD" District is in conformance with the City's adopted Comprehensive Plan, as amended; and

WHEREAS, the City caused notice of the required public hearings regarding the zoning change to this Ordinance to be published in the Focus Daily News on January 22, 2023, and mailed notice to property owners within 200 feet of the Property; and

WHEREAS, the City's Planning and Zoning Commission held a public hearing and accepted comments regarding the zoning change of this Ordinance on February 7, 2023; and

WHEREAS, following its public hearing, the Planning and Zoning Commission forwarded its report and recommendation regarding this zoning change to the City Council; and

WHEREAS, the City Council, after conducting a public hearing on February 28, 2023, found the proposed amendment to be in the best interests of the City of Cedar Hill.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CEDAR HILL, TEXAS, THAT:

SECTION 1 – PROPERTY DESCRIPTION. This ordinance applies solely to approximately 11.99 acres legally described as a part of Lot 8, Block C of the Cedar Hill Crossing Addition; located at the western terminus of Showcase Drive and west of North Cannady Drive as more particularly described in **Exhibit “B”** – Property Legal Description and shown on **Exhibit “C”** – Development Plan, which is attached hereto and incorporated by reference herein as if fully set forth.

SECTION 2 – CHANGE IN ZONING DISTRICT CLASSIFICATION. The zoning district classification for the property described in Section 1 hereby is changed from “LR” (Local Retail) District to “PD” (Planned Development) District. The official zoning map for the city shall be changed to reflect this change in zoning district classification.

SECTION 3 – APPLICABILITY OF STANDARDS. The Property shall be subject to the regulations set forth in this Ordinance plus all applicable City Ordinances and regulations including, but not limited to, the City’s Zoning Ordinance, as the above may subsequently be amended.

SECTION 4 – PURPOSE AND INTENT. The purpose and intent of this Planned Development District is to provide for a gated community with detached, single-family residential dwellings in accordance with: (a) the development standards as herein provided; and (b) Development Plan – **Exhibit “C”**; (c) Building Elevations – **Exhibit “D”**; (d) Ornamental Siding Concepts – **Exhibit “E”**; (e) Garage Door Concepts – **Exhibit “F”**; (f) Building Elevation Variety – **Exhibit “G”**; (g) Decorative Street Lighting Standards – **Exhibit “H”**; (h) Decorative Signage – **Exhibit “I”**; and (i) the design and construction standards that uphold the architectural integrity of the development and the Property as consented to by the owner(s)/developer(s) in the Consent Form – **Exhibit “J”**. The City Council hereby directs the Planning Director to cause the Consent Form attached as **Exhibit “J”** to be filed in the land records of the County of Dallas.

SECTION 5 – DEVELOPMENT PLAN. Development of this property shall be consistent with the Development Plan – **Exhibit “C”** and the following accompanying documents: Building Elevations – **Exhibit “D”**; Ornamental Siding Concepts – **Exhibit “E”**; Garage Door Concepts – **Exhibit “F”**; Building Elevation Variety – **Exhibit “G”**; Decorative Street Lighting Standards – **Exhibit “H”**; Decorative Signage – **Exhibit “I”** and Consent Form – **Exhibit “J”**. Any significant change in the information provided on those exhibits shall require an amendment to the “PD” District in the same manner that it was created.

SECTION 6 – DEFINITIONS. The definitions in Section 5.8 of the City’s Zoning Ordinance shall be applicable to the Property in this “PD” District with the exception of those terms defined in this Section.

- A. Open Space – Common areas that include, but are not limited to: landscaping, signage, sidewalks, trails, recreational facilities, playground equipment, seating areas, water features and/or dog parks.
- B. HOA Lots – Lots owned and maintained by the Homeowner’s Association (HOA) that includes, all open space areas, as defined above, and all lot areas that are not designated as a residential lot and are not part of the public right-of-way or private property.
- C. Programmed Parking Spaces – A grouping of parking spaces arranged as parallel parking that is outside of the drive aisle and are owned and maintained by the HOA.
- D. Build-To-Rent – Single-family dwellings constructed for the purpose of rental.

SECTION 7 – AUTHORIZED LAND USES. The only land uses that shall be permitted on the subject property are “single-family dwellings (detached)” and “open space”. “Build-To-Rent” shall be an unauthorized land use within this “PD” District.

SECTION 8 – DEVELOPMENT STANDARDS. The development standards in Section 3.8 of the Zoning Ordinance for the “SF-7” (Single Family Residential District – minimum 7,000 square foot lots) District shall be applicable except as stated in this section.

- A. Development shall be a gated community as shown on Development Plan – **Exhibit “C”**.
- B. Maximum Density
 - 1. The maximum number of dwelling units shall be 63.
 - 2. There shall be no more than one dwelling unit per lot.

- C. Lot Area – The minimum lot area shall be 4,000 square feet.
- D. Minimum Lot Width – The minimum lot width shall be 50 feet.
- E. Minimum Lot Depth – The minimum lot depth shall be 81 feet.
- F. Yard Requirements
 - 1. Minimum Front Yard
 - a. The minimum front yard shall be 20 feet.
 - b. The minimum front yard for a garage door shall be 25 feet.
 - 2. Minimum Side Yard
 - a. The minimum interior side yard shall be 5 feet.
 - b. The minimum street side yard shall be 10 feet.
 - 3. Minimum Rear Yard – The minimum rear yard shall be 10 feet, except for the lots adjoining “SF-8.5” zoning, which shall be 15 feet.
- G. Structure Standards
 - 1. Maximum Lot Coverage – 50 percent.
 - 2. Minimum Living Area – At least 15 percent of the dwelling units shall have a minimum living area of 1,800 square feet with no dwelling unit having a living area less than 1,400 square feet.
 - 3. Maximum Building Height – 35 feet measured from the finished floor to the highest peak of the roof.
 - 4. Maximum Number of Stories – The maximum number of stories shall be two (2) except for the lots adjoining “SF-8.5” zoning, which shall be one (1).
 - 5. Accessory structures shall not be allowed.
- H. Construction and Design Standards – The following minimum design and construction standards shall apply within the subject property in this “PD” District, as volunteered by the applicant and as reflected in the consent form attached as **Exhibit “J”**. Provide a minimum of ten (10) building elevations (including sides and rear) in black and white

with general dimensions and a front elevation in color that meets the minimum design standards in this section for review by the City Manager or his/her designee prior to the issuance of grading permits or permits for the construction of utilities and streets. At minimum, the development shall incorporate the following standards:

1. Building Elevations shall meet the minimum design standards as listed in this section and in accordance with the Building Elevation Concepts – **Exhibit “D”**.
2. The building materials shall be limited to the following types:
 - a. Brick material, glass walls, and stone material as defined in the City’s Zoning Ordinance.
 - b. Acrylic matrix or synthetic plaster finish, as defined in the City’s Zoning Ordinance, shall only be located above the bottom eight (8) feet of the structure.
 - c. Fiber cementitious material shall have Class A fire rating.
3. Front Wall Surface Area
 - a. A minimum of 100 percent of front wall surface area shall utilize two (2) building materials that consist of brick, stone and/or two distinctive patterns of brick material which may be utilized to meet this requirement, excluding windows and doors.
 - b. Fiber cementitious siding may be used within the front wall surface area of the gable roof(s) if the siding is of an ornamental pattern. Refer to the Ornamental Siding Concepts – **Exhibit “E”**. It must be painted and treated as an accent to the front wall surface area.
4. Side and Rear Wall Surface Areas
 - a. A minimum of 80 percent of the side and rear wall surface area shall be finished with brick or stone material.
 - b. A maximum of 20 percent may be finished with acrylic matrix or synthetic plaster finish, and/or fiber cementitious siding material.
5. Block Variety – In order to avoid monotonous block patterns, this district shall incorporate the following elements. Refer to Building Elevation Variety – **Exhibit “G”**.
 - a. Elevation Variety

- i. The same elevation shall not be used within any 10-lot grouping as defined by two adjacent lots on either side of the subject property and the five (5) lots immediately across the street from those same lots.
 - ii. If an elevation has multiple varieties and/or options, it shall be considered the same elevation.
 - b. Color/Material Variety
 - i. When a block contains more than one 10-lot groupings, the same color palette shall not be used within the three (3) lots on either side and the three (3) lots directly across the street of the subject site.
 - ii. Each color palette shall be different color tones and hues.
 - iii. Provide the color palettes with the building elevation submittal.
- 6. Building Mass and Form – The front wall surface elevations shall incorporate at least three of the following design features to provide visual relief. Design features that require a minimum dimension must be clearly shown on the building elevation submittal.
 - a. Dormers
 - b. Shutters
 - c. Gable roof
 - d. Enhanced roof line
 - e. Ornamental fiber cementitious patterned siding – only allowed within the gable roof front wall surface area.
 - f. Recessed entries – a minimum of three (3) feet deep.
 - g. Covered porches – four (4) feet deep by seven (7) feet long minimum.
 - h. Cupolas
 - i. Bay windows – with a minimum 24-inch projection
 - j. Address Plates – precast stone
 - k. Additional design features may be approved by the Planning Director or Building Official at the time of building permit.

7. Garage Design

- a. Each dwelling unit shall have a 2-car garage attached and integrated into the design of the dwelling structure.
- b. Garage Door Style – The garage door shall be ornamental in style to match the style of the home. Refer to the Garage Door Concept – **Exhibit “F”**.
 - i. If standard garage doors are utilized, they must contain ornamental garage door hardware.
 - ii. The garage doorway must be accented with brick/stone along the perimeter.
- c. The total width of the garage door(s) shall not occupy more than **40 percent** of the ground-floor front elevation, unless the entry area is ornamentally enhanced in such a way to visually create a prominent entrance to the home and or massing and ornamental detail above the ground-floor area of the garage door is provided.

I. Minimum Parking

1. Minimum number of programmed parking spaces – 14 spaces as provided in accordance with the Development Plan – **Exhibit “C”**.
2. Minimum number of parking spaces per dwelling unit – a total of four (4) parking spaces per lot as follows:
 - a. an attached garage to accommodate a minimum of two (2) vehicles; and
 - b. a driveway that can accommodate two vehicles clearing the public sidewalk.
3. Carports are prohibited.

J. Screening Walls and Fences – Screening walls and fence requirements as described in Article XIV of the Code of Ordinance and in Chapter 20, Section 20-22 of the Subdivision Ordinance, shall apply except as described in this section and in accordance with the Development Plan – **Exhibit “C”**. The Homeowners’ Association (HOA) shall own and be responsible for the maintenance of all required screening walls and fences that are listed in this section.

1. An 8-foot-tall masonry wall shall be installed prior to acceptance of the public infrastructure, along the northwest and southwest sides of the subject property.
2. A minimum 6-foot-tall masonry wall shall be installed prior to acceptance of the public infrastructure, along the southeast side of the subject property.

3. A minimum 6-foot-tall tubular steel fence shall be installed prior to issuance of a certificate of occupancy on the adjoining property line when a residential lot is adjacent to a common area.
4. A minimum 6-foot-tall board-on-board cedar fence shall be installed along a residential side yard fronting a street at the 10-foot setback prior to the issuance of a certificate of occupancy for a dwelling unit on the same lot.
5. A minimum 6-foot-tall tubular fence and gate shall be installed at the main entrance except for the dog park fenced. The dog park fence shall be black vinyl chain-link fence with masonry columns installed no less than 50 feet on-center and/or on all corners, whichever is less. Said fences shall be installed prior to acceptance of the public infrastructure.
6. An 8-foot-tall board-on-board cedar wood fence shall be installed prior to the issuance of a certificate of occupancy for a dwelling unit on the same lot that is adjoining "SF-8.5" zoning.
7. Fences or walls shall not be installed within a front yard or intersecting side yards.
8. Consolidation and screening of above ground utility apparatuses where possible is required.
9. All walls and fences that are located on or adjacent to a proposed single-family lot shall have a 5-foot maintenance easement on the residential lot side.
10. Detailed plans for the walls, fences and monument entrance signage shall be submitted with the construction plan for streets and public infrastructure submittal.

K. Landscape Requirements

1. Landscape in Residential lots – Landscape requirements as described in Section 5.2 of the Zoning Ordinance shall apply except as described in this section.
 - a. Trees – Prior to the issuance of a certificate of occupancy, one (1) shade tree with a minimum of 3 caliper inch shall, be installed within the street yard of each residential lot.
 - b. Shrubs
 - ii. Prior to the issuance of a certificate of occupancy, a mixture of evergreen shrubs, deciduous shrubs and ornamental grasses shall be installed at each

building's foundation area that fronts the street containing the primary entrance and along the driveway up to the front property line.

- i. The planting bed shall be continuous except for pedestrian and vehicular entrances.
 - ii. Shrubs shall be a minimum of 5 gallon and ornamental grasses a minimum of 1 gallon at the time of planting.
2. Landscape and Amenities in Common Areas – Landscape requirements as described in Section 5.2 of the Zoning Ordinance shall apply except as described in this section. Trees and landscaping in common areas shall be installed prior to acceptance of infrastructure. Trees and landscaping shall be maintained by the Home Owners Association (HOA).
3.
 - a. Landscape and Irrigation
 - i. Trees
 - (1) Prior to the acceptance of public infrastructure, one (1) large or medium shade tree with a minimum of 3 caliper inches shall be installed for every 1,400 square feet of landscape area that does not contain existing trees.
 - (2) One (1) shade tree with a minimum of 3 caliper inches shall be provided for every 40 linear feet of parallel parking area within 10-ft of the adjacent sidewalk prior to the acceptance of all public infrastructure.
 - (3) One (1) ornamental tree with a minimum of 2 caliper inches shall be provided for every 2,800 square feet of landscape area that does not contain existing trees. Trees shall be placed in natural groupings.
 - ii. Shrubs
 1. A mixture of evergreen shrubs, deciduous shrubs and ornamental grasses shall be installed in groupings along the tubular steel fence on the common area prior to the acceptance of public infrastructure.
 2. Shrubs shall be a minimum of 5 gallons and ornamental grasses shall be a minimum of 1 gallon at the time of planting.
 - iii. All common areas shall be irrigated with an automatic underground irrigation system, owned and maintained by the Homeowner's Association.
 - iv. A detailed Landscape Plan shall be submitted with the construction plans for streets and public infrastructure.
 - v. The Irrigation Plan shall be submitted at the time of building permit.
 - b. Open Space and Amenities

- i. The developer shall provide a cumulative minimum of two (2) acres of open space in accordance with the Development Plan – **“Exhibit “C”**.
 - ii. The developer shall install the amenities in accordance with the Development Plan – **Exhibit “C”** and as listed below:
 - a. Fenced Dog Park (private)
 - b. Shaded picnic areas, grills and outdoor games
 - c. Shaded playground equipment
 - d. 6-foot walking trail
 - e. Benches and trash receptacles
 - f. Additional amenities may be approved by the Planning Director prior to installation.
 - iii. All open space areas and amenities shall be owned and maintained by the Homeowners Association.
 - iv. Detail drawings of all the open space areas and amenities shall be submitted with the construction plans for streets and public infrastructure.
- L. Tree Preservation – A detailed Tree Mitigation and Preservation Plan shall be submitted with the construction plans for streets and public infrastructure.
- M. Sidewalks and Trails – Sidewalk requirements as described in Section 20-20 of the Subdivision Ordinance and the Public Works Design Manual shall apply except as described in this section and shall be required in accordance with the below specifications and as shown on the Development Plan – **Exhibit “C”**.
 - 1. The following sidewalks shall be required to be constructed prior to the certificate of occupancy of the residential home:
 - a. A 4-foot-wide sidewalk along all residential lots that front a street.
 - b. A 4-foot-wide sidewalk along both sides of residential corner lots.
 - 2. The following sidewalks and trails shall be constructed prior to the acceptance of the public infrastructure:
 - a. A 4-foot sidewalk along the street frontages of all open lots.
 - b. A 5-foot sidewalk adjacent to the parallel parking spaces in accordance with the Development Plan – **Exhibit “C”**.
 - c. A 6-foot-wide trail within the open space area in accordance with the Development Plan – **Exhibit “C”**.

3. Detailed plans for the sidewalks and trails shall be submitted with the construction plans for streets and public infrastructure.

SECTION 9 – ROAD DESIGN. All street designs as described in Chapter 20, Section 20-19 Subdivision Ordinance; the Public Works Design Manual for Paving and Drainage and Water and Sewer Lines; and Standard Details for Paving and Drainage and Sewer and Water Lines shall apply, except as listed below:

- A. The proposed development shall be a gated community that meets the Cedar Hill's "Gated Community, Private Development Guide" requirements. Construction plans for streets and public infrastructure shall incorporate the requirements set forth in the aforementioned document.
- B. All residential streets shall have a minimum width of 31 feet.
- C. All streets and sidewalks shall be owned and maintained by the Homeowner's Association (HOA).
- D. Decorative street lighting and decorative street signage shall be incorporated for the entire development in accordance with the Decorative Lighting Standards – **Exhibit "H"** and Decorative Signage Standards – **Exhibit "I"**.

SECTION 10 – PROPERTY MAINTENANCE PLAN. A plan for the maintenance of the buildings, driveways, landscaping, and grounds on the Property shall be established and submitted with the first certificate of occupancy. The Property shall be maintained in accordance with the maintenance plan, which shall be subject to approval by the City.

SECTION 11 – HOMEOWNER ASSOCIATION. The dwelling units shall not be owned and managed by a sole entity for rent. The individual lots are to be sold to individual property owners whose intent is to occupy or to have them occupied by someone with a familial relationship with the property owner. All dwellings shall be required to incorporate into a Homeowners Association (HOA). Documents establishing the Homeowners Association and the Homeowners Association By-Laws shall be submitted to the city for approval prior to the recordation of the final plat and be filed concurrently with the final plat.

SECTION 12 – CONFLICTS. This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances for the City of Cedar Hill, Texas, as amended, except where the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such Code, in which event, conflicting provisions of such ordinances and Code are hereby repealed; but such repeal shall not abate any pending prosecution for violation of

the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance.

SECTION 13 – SEVERABILITY. The terms and provisions of this ordinance shall be deemed to be severable and if the validity of any section, subsection, sentence, clause or phrase of this ordinance should be declared to be invalid, the same shall not affect the validity of any other section, subsection, sentence, clause or phrase of this Ordinance.

SECTION 14 – EFFECTIVE DATE. Because of the nature of the interests sought to be protected and of the safeguards sought to be provided by this Ordinance, and in the interest of the health, safety, and welfare of the citizens of Cedar Hill, Texas, this Ordinance shall take effect immediately after its passage, approval, and publication as required by law.

SECTION 15 – PENALTY. Any person, firm, entity, or corporation who violates any provision of this Ordinance or the City's Zoning Ordinance, as they exist or may be amended, shall be deemed guilty of a misdemeanor, and upon conviction, therefore shall be fined in a sum not exceeding Two Thousand and No/100 Dollars (\$2,000.00). Each continuing day's violation shall constitute a separate offense. The penal provisions imposed under this Ordinance shall not preclude the City from filing suit to enjoin the violation. The City retains all legal rights and remedies available to it pursuant to local, state, and federal law.

SECTION 16 – PUBLICATION. The City Secretary is hereby authorized and directed to cause publication of the descriptive caption and penalty clause hereof as an alternative method of publication provided by law.

PASSED AND APPROVED by the City Council, the City of Cedar Hill, on this the 28th day of March 2023.

ATTEST:



Belinda Berg
City Secretary


Stephen Mason, Mayor

APPROVED AS TO FORM:



Ron G. MacFarlane, Jr.
City Attorney

City of Cedar Hill

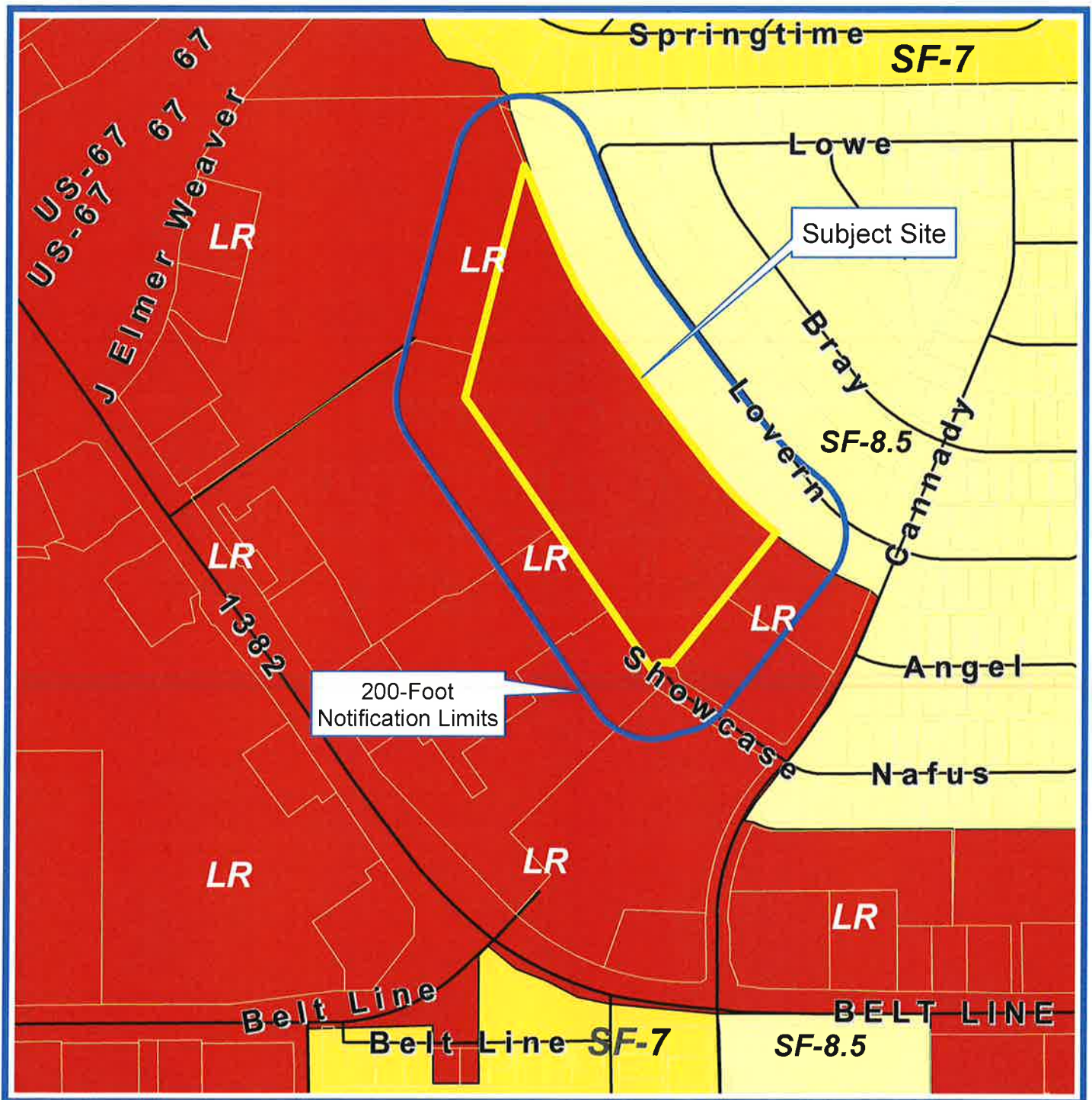
EXHIBIT "A" Case PD-516-2022



1 inch = 400 feet



Map Printed - December 2022
Cedar Hill Planning Department



Commitment No.: 5116084-S-TX-CP-GL

GF No.: 5116084-S-TX-CP-GL

LEGAL DESCRIPTION

All that certain lot, tract or parcel of land situated in the ZACHARIAH JACKSON SURVEY, ABSTRACT NO. 711, City of Cedar Hill, Dallas County, Texas, and being a part of Lot 8, Block C of CEDAR HILL CROSSING ADDITION, an Addition to the City of Cedar Hill, Texas, according to the Plat thereof recorded in Volume 98029, Page 131 of the Map Records of Dallas County, Texas, and being more particularly described as follows:

COMMENCING at a 1/2 inch iron rod found for corner in the intersection of the Easterly right of way line of U.S. Highway 67 (a variable width right of way) and the Northerly right of way line of F.M. Road 1382 (a 120 feet right of way) said point being at the most Westerly line of Lot 1, Block B of CEDAR HILL CROSSING as recorded in Volume 86158, Page 1676 of the Deed Records of Dallas County, Texas;

THENCE departing the easterly right of way line of said U.S. Highway 67 and along the Northeasterly right of way line of F.M. Road 1382 as follows:

South 34 degrees 29 minutes 42 seconds East a distance of 309.99 feet to a 1/2 inch iron rod found in the southerly corner of Lot 2, Block B CEDAR HILL CROSSING as recorded in Volume 88106, Page 2093 for corner;

North 55 degrees 30 minutes 18 seconds East a distance of 10.00 feet to a 1/2 inch rod found for corner in the westerly most Southwest corner of Lot 8;

South 34 degrees 29 minutes 42 seconds East a distance of 44.04 feet to a 1/2 inch iron rod found for corner in the Westerly corner of Lot 4, Block C of said CEDAR HILL CROSSING ADDITION;

THENCE departing the northeasterly right of way line of said F.M. Road 1382 and along the common line of said Lot 4 and Lot 8 as follows:

North 55 degrees 31 minutes 13 seconds East a distance of 787.19 feet to a 1/2 inch iron rod found for corner;

South 75 degrees 27 minutes 12 seconds East a distance of 178.74 feet to a 1/2 inch iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the TRUE POINT OF BEGINNING;

THENCE North 14 degrees 32 minutes 48 seconds East departing the common line of Lot 4 and Lot 8, a distance of 578.37 feet to a 1/2 inch iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE South 21 degrees 30 minutes 55 seconds East a distance of 225.60 feet to a 1/2 inch iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE in a Southeasterly direction along a curve to the left having a central angle of 14 degrees 40 minutes 00 seconds, a radius of 1241.44 feet, a tangent of 159.77 feet, a chord of South 28 degrees 50 minutes 55 seconds East, 316.92 feet along said curve an arc distance of 317.79 feet to a 1/2 inch iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE South 36 degrees 10 minutes 55 seconds East a distance of 440.00 feet to a 1/2 inch iron rod found for corner;

THENCE in a Southeasterly direction along a curve to the left having a central angle of 15 degrees 29 minutes 42 seconds, a radius of 1166.44 feet, a tangent of 158.69 feet, a chord of South 43 degrees 55 minutes 46 seconds East, 314.49 feet, along said curve an arc distance of 315.45 feet to a 1/2 inch iron rod found for corner in the Northwesterly corner of Lot 7, Block C of CEDAR HILL CROSSING ADDITION;

THENCE South 37 degrees 35 minutes 03 seconds West along the common line of Lot 7 and Lot 8, a distance of 460.78 feet to a 1/2 inch iron rod found for corner;

LEGAL DESCRIPTION

(Continued)

THENCE in a Southwesterly direction along a curve to the left having a central angle of 103 degrees 55 minutes 27 seconds, a radius of 50.00 feet, a tangent of 63.91 feet, a chord of South 72 degrees 35 minutes 28 seconds West, 78.76 feet along said curve an arc distance of 90.69 feet to a 1/2 inch iron rod found for corner at the Easterly corner of Lot 6, Block C;

THENCE North 34 degrees 28 minutes 47 seconds West along the common line between said Lot 6 and Lot 8, a distance of 943.16 feet to a 1/2 inch iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE North 14 degrees 32 minutes 48 seconds East along the common line of Lot 4 and Lot 8, a distance of 124.51 feet to the POINT OF BEGINNING and CONTAINING 522,481 square feet or 11.99 acres of land, more or less.

NOTE: The Company is prohibited from insuring the area or quantity of the land described herein. Any statement in the legal description contained in Schedule "A" as to area or quantity of land is not a representation that such area or quantity is correct, but is made only for informal identification purposes.

Exhibit "D"

PAGE 1 OF 9

The Parks in Cedar Hill - PD Building Elevation Examples 1/20/2023

Home Elevation Examples

Design Features

Gable Roof

Enhanced Hardie Pattern

3 foot Recessed Entry



Home Elevation Examples

Design Features

Gable Roof

Shutters Added

3 foot Recessed Entry



Exhibit "D"

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The Parks in Cedar Hill - PD Building Elevation Examples 1/20/2023

Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

Shutters Added



Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

4 foot x foot Covered Porch



Exhibit "D"

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The Parks in Cedar Hill - PD Building Elevation Examples 1/20/2023

Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

Shutters



Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

Shutters Added



Exhibit "D"

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The Parks in Cedar Hill - PD Building Elevation Examples 1/20/2023

Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

Enhanced Hardie Pattern



Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

Enhanced Hardie Pattern added



Exhibit "D"

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The Parks in Cedar Hill - PD Building Elevation Examples 1/20/2023

Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

Arched Windows



Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

Enhanced Hardie Pattern added

4 foot x foot Covered Porch



Exhibit "D"

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The Parks in Cedar Hill - PD Building Elevation Examples 1/20/2023

Home Elevation Examples

Design Features

Gable Roof

Recessed Entry

3 foot Arched Windows

Enhanced Hardie Pattern Added



Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

Shutters



Exhibit "D"

PAGE 7 OF 9

The Parks in Cedar Hill - PD Building Elevation Examples 1/20/2023

Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

4 foot x 7 foot Covered Porch

Enhanced Hardie Pattern Added



Home Elevation Examples

Design Features

Gable Roof

Enhanced Hardie Pattern Added

Shutters Added



Exhibit "D"

PAGE 8 OF 9

The Parks in Cedar Hill - PD Building Elevation Examples 1/20/2023

Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

Shutters Added



Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

Shutters Added



Exhibit "D"

PAGE 9 OF 9

The Parks in Cedar Hill - PD Building Elevation Examples 1/20/2023

Home Elevation Examples

Design Features

Gable Roof

3 foot Recessed Entry

Shutters Added



Home Elevation Examples

Design Features

Gable Roof

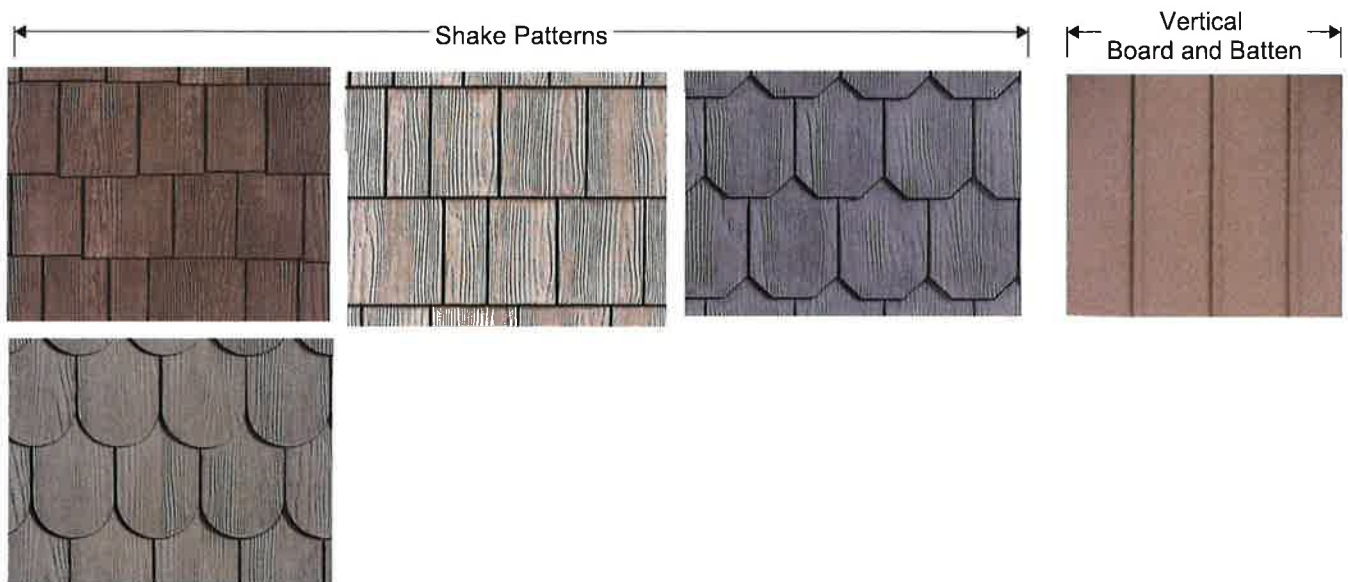
3 foot Recessed Entry

4 foot x 7 foot Covered Porch



The Parks at Cedar Hill PD Ornamental Siding Concepts

EXHIBIT "E"



Examples of Acceptable Gable Wall Treatments utilizing Fiber Cementitious Siding



The Parks at Cedar Hill PD Garage Door Concepts

EXHIBIT "F"



Garage doorways must be accented with brick/stone enhancements along the perimeter.

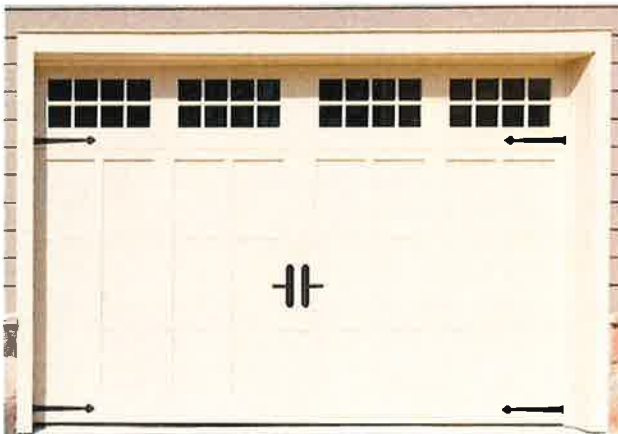
Examples of Acceptable Ornamental Garage Doors Concepts.



Ornamental style garage door with hardware.



Ornamental style garage door with hardware.



Ornamental style garage door with hardware.

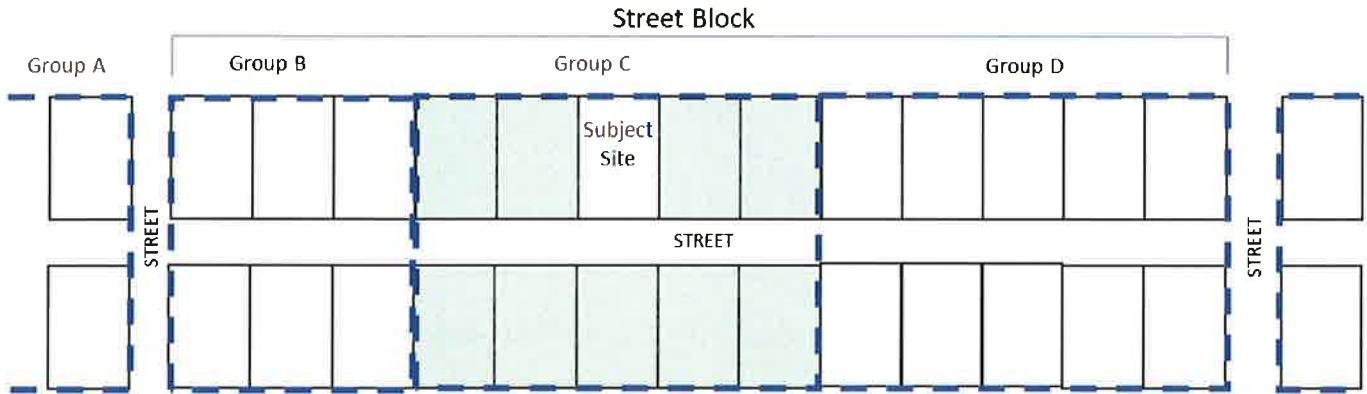


Standard garage door with hardware.

EXHIBIT "G"

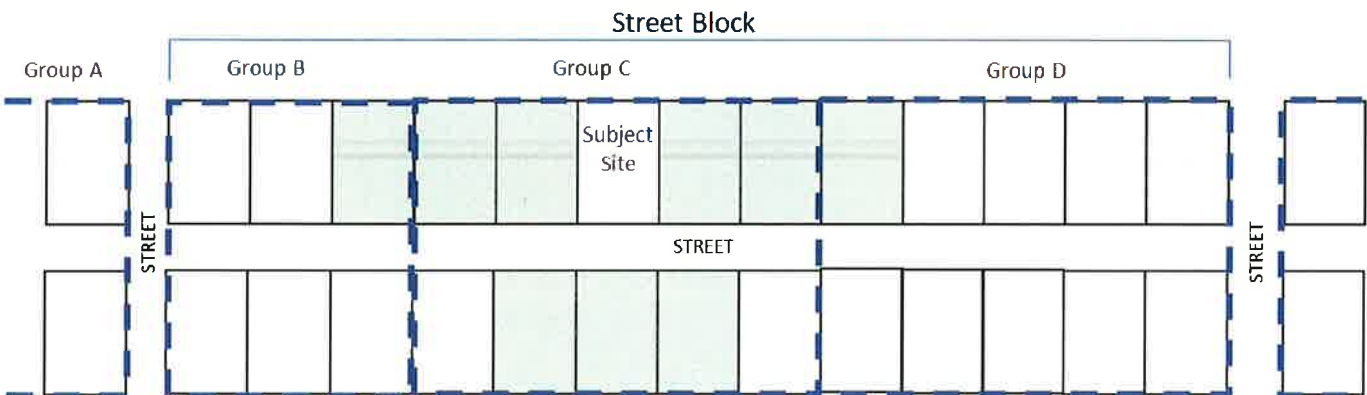
Building Elevation Variety

Illustration 1 - Elevation Variety



1. The same elevation shall not be used within any 10-lot grouping as defined by two adjacent lots on either side of the subject property and the 5 lots immediately across the street from those same lots.
2. If an elevation has multiple varieties and/or options, it shall be considered the same elevation.

Illustration 2 - Color Variety



1. When a block contains more than one 10-lot groupings, the same color palette shall not be used within the 3 lots on either side and the 3-lots directly across the street of the subject site.
2. Each color palette shall be different color tones and hues.



EXHIBIT "H"

PAGE 1 OF 2

Decorative Street Lighting

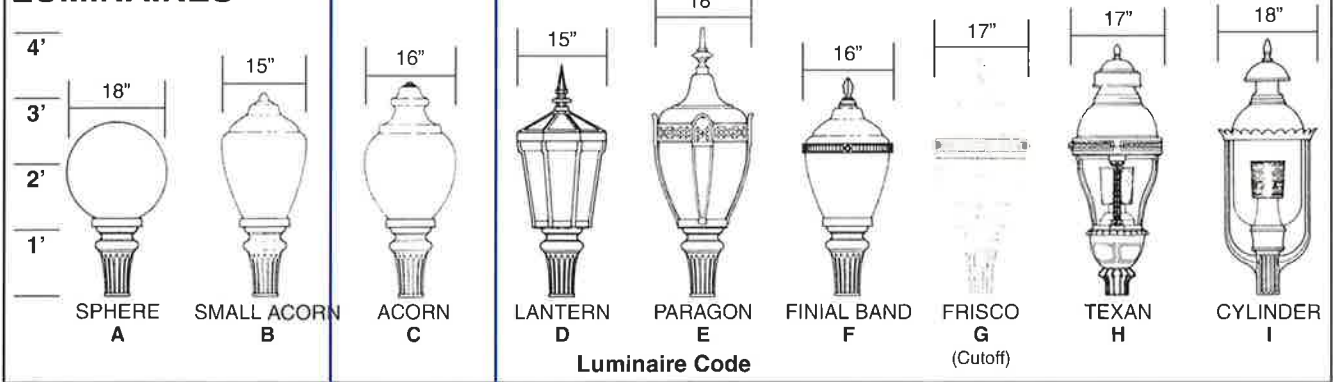
Options offered by:



EXHIBIT "H"

LUMINAIRES

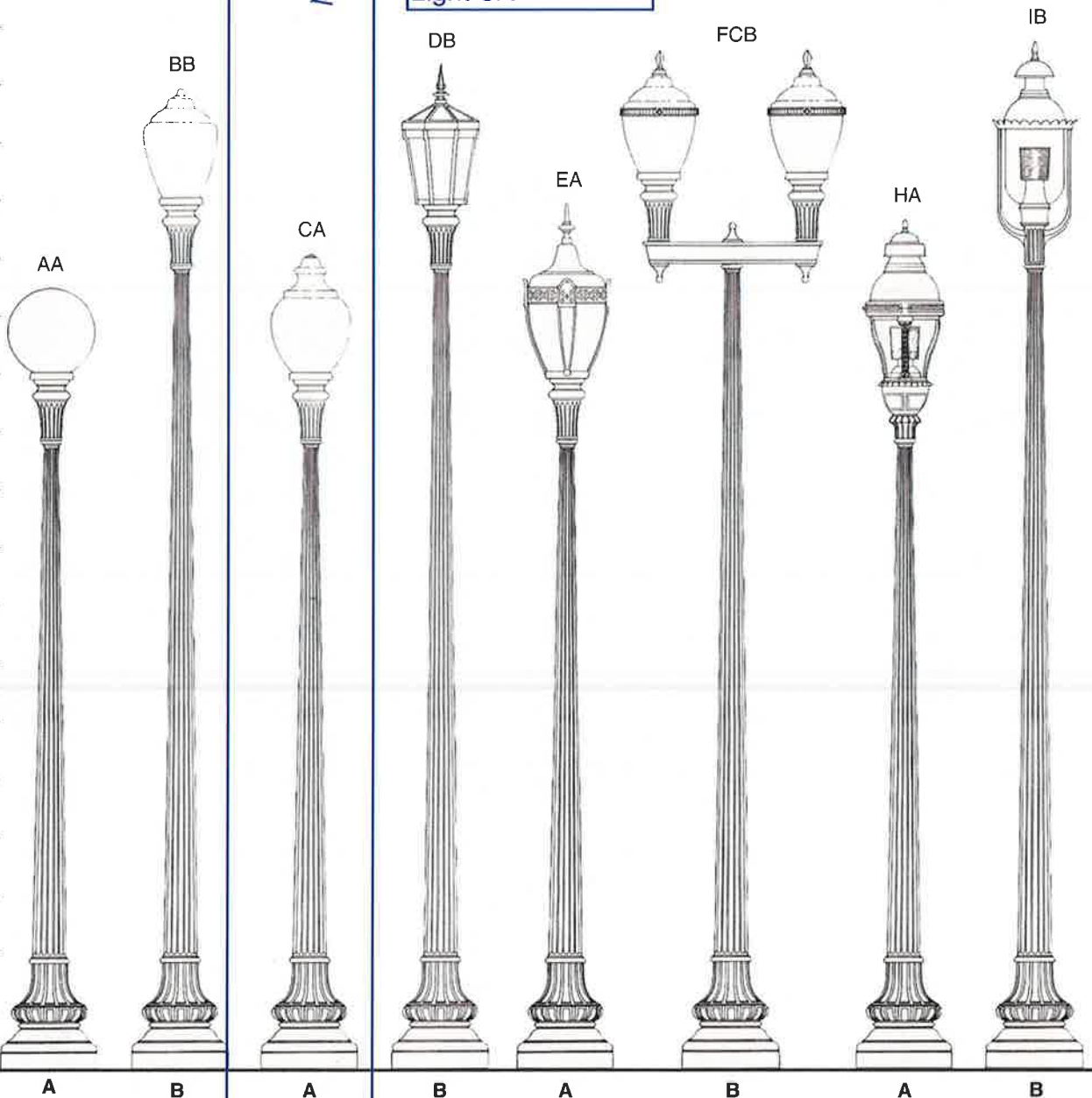
PAGE 2 OF 2



FEET

18
17
16
15
14
13
12
11
10
9
8
7
6
5
4
3
2
1

Pole Code:

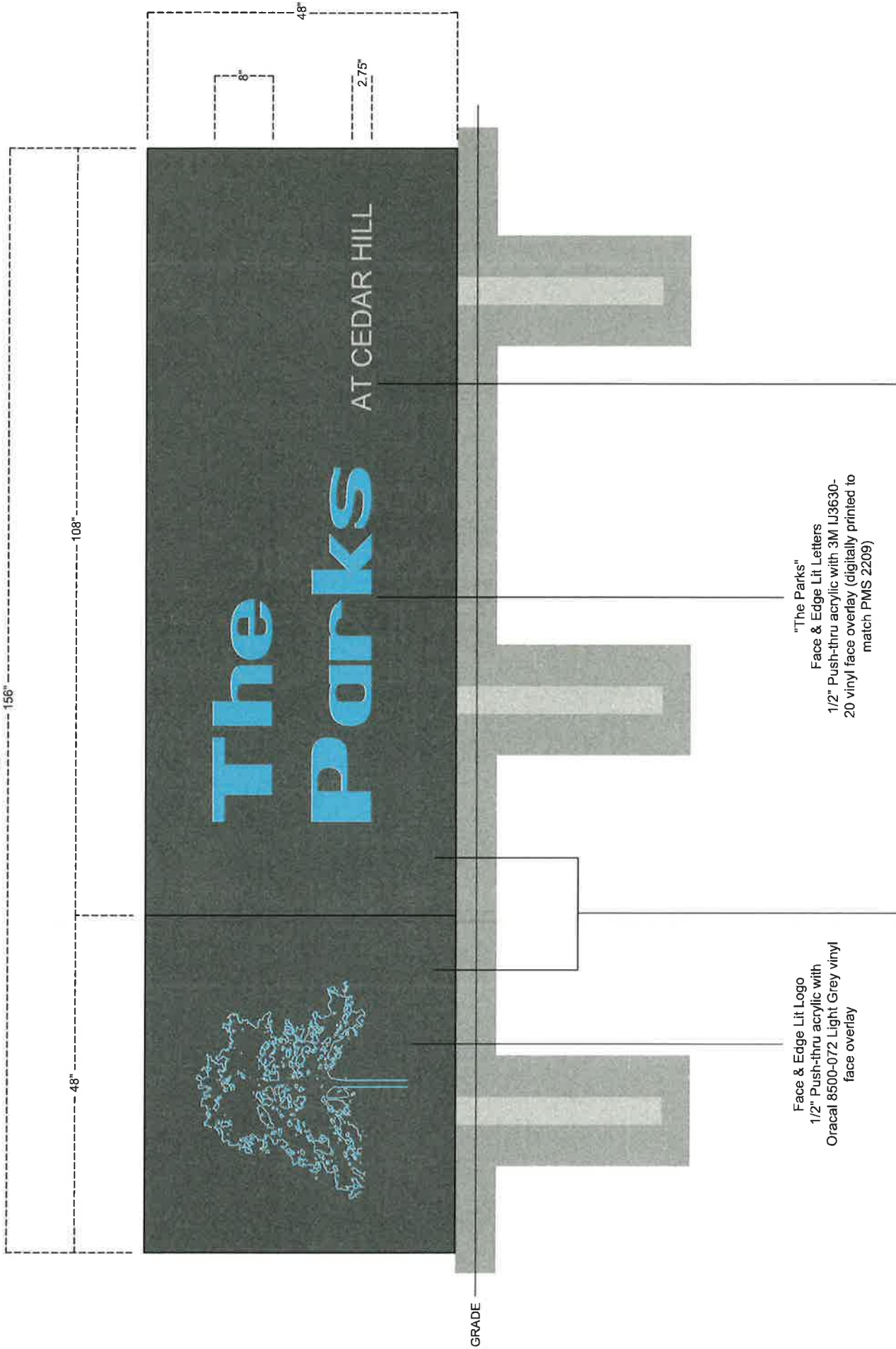


AMERICAN STYLE POLES

page 4 of 8

Oncor Electric Delivery's decorative poles are made of cast aluminum and are powder coat painted at the factory. Oncor's only standard color offering for decorative poles and luminaires is black.

Monument Sign - Main Entrance



Face & Edge Lit Logo
1/2" Push-thru acrylic with
Oracal 8500-072 Light Grey vinyl
face overlay

"The Parks"
Face & Edge Lit Letters
1/2" Push-thru acrylic with 3M IJ3630-
20 vinyl face overlay (digitally printed to
match PMS 2209)

Sign Cabinet
.080 aluminum paint matched
to PMS Cool Grey 1 & PMS 7477
respectively
Removable panels for install.

"At Cedar Hill"
Face & Edge Lit Letters
1/2" Push-thru acrylic with
perforated vinyl face overlay
(match to PMS Cool grey 9)

Street Signs:



Enhanced Cluster Mailboxes:



EXHIBIT "J"

PAGE 1 OF 5

PLANNED DEVELOPMENT DISTRICT CONSENT FORM

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Introduction: As an applicant for a new Planned Development District, or an amendment of an existing PDD, you are aware that the City's zoning regulations specify design elements and construction goals for both residential and non-residential zoning proposed planned developments. The City has determined that such elements of a planned development greatly further the long-term viability of the project, the economic development of surrounding areas, the preservation of property values and the architectural standards of the community. These standards thus are an important factor in the consideration of whether the departure from standard zoning district standards in a planned development represents an enhancement of the City. Because of recent changes in state law, however, that affect the City's capacity to employ and enforce architectural standards and building material regulations for development and construction, it is necessary to promulgate the following form. ***It is intended that your consent be observed by you and subsequent purchasers and that the attached covenants shall run with the land.***

Instructions: You have received this form because you have submitted a rezoning application for either creation or amendment of a Planned Development District. The signature of the property owner(s) and his or her designated representative (the developer) should both be affixed to this form only if you are in agreement with the statements that appear below. If you choose to sign this form, it should be returned to the City's Planning and Development Department for recordation at least 4 weeks before the date of the public hearing by the Planning & Zoning Commission so that staff can include whether or not you have consented in the staff report/agenda materials.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

PAGE 2 OF 5

EXECUTED AND DELIVERED to be effective as of the date of the last signature below:

Owner _____
Date: 10/26/2022

This instrument was acknowledged before me on the 26 day of OCTOBER, 2022 by JAMES C. LIN



[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

EXHIBIT "J"

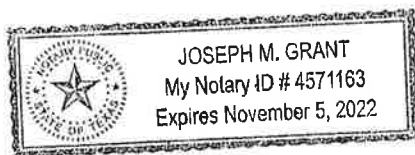
PAGE 3 OF 5

I, Venkataramana R Murari, the duly authorized representative of Owner and the developer of the Property, described in **Exhibit A** hereto, and for which an application was voluntarily filed for creation or an amendment of a planned development district in the City of Cedar Hill, Texas, do with my signature hereby affirm the City's intent expressed in the introductory paragraph and consent and covenant to uphold the design and construction standards within the project and upon the Property, as set forth in the City's zoning regulations, including but not limited to any Planned Development District Ordinance applicable to the Property, in order to further the expressed objectives and to uphold the architectural integrity of the community and my development of the Property.

Venkataramana R. Murari
Developer
Date: 10/27/2022

STATE OF TEXAS §
 §
COUNTY OF DALLAS §

This instrument was acknowledged before me on the 27 day of OCTOBER, 2022 by VENKATARAMANA R. MURARI.



Joseph M. Grant
Notary Public, State of Texas

EXHIBIT "J"

PAGE 4 OF 5

EXHIBIT A
LEGAL DESCRIPTION OF PROPERTY

EXHIBIT "J"

PAGE 5 OF 5

PROPERTY DESCRIPTION

BEING a 522,483 square foot (11.995 acre) tract of land situated in the ZACHARIAH JACKSON SURVEY, ABSTRACT No. 711, City of Dallas, Dallas County, Texas, same being a portion of Lot 8, Block C, of CEDAR HILL CROSSING ADDITION, an Addition to the City of Dallas, Dallas County, Texas, recorded in Volume 98029, Page 131, Deed Records, Dallas County, Texas, further being that certain tract of land conveyed to JDI Investors, LP, by Deed recorded in Instrument Number 201900243116, Official Public Records, Dallas County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found in the west line of Lot 33, of Highlands North, Phase 2, recorded in Volume 2000121, Page 23, Deed Records, Dallas County, Texas, same being in the easterly line of Lot 8R-A1, Block C, of Lot 8R-1 and Lot 8R-C, Block C of the CEDAR HILL CROSSING ADDITION, recorded in Volume 2001201, Page 105, Deed Records, Dallas County, Texas;

THENCE South 22 degrees 12 minutes 18 seconds East, for a distance of 225.60 feet, to a 5/8" iron rod with Purple plastic cap stamped, "RPLS 6451" set in the west line of Lot 36, of said Highlands North, Phase 2, same being the beginning of a curve to the left, having a radius of 1241.44 feet, and a chord which bears South 29 degrees 32 minutes 18 seconds East, for 316.92 feet;

THENCE Southeasterly, along said curve to the left, through a central angle of 14 degrees 40 minutes 00 seconds, for an arc length of 317.79 feet, to a 5/8" iron rod with Purple plastic cap stamped, "RPLS 6451" set in the west line of Lot 41, of said Addition;

THENCE South 36 degrees 52 minutes 18 seconds East, for a distance of 440.00 feet, to a 5/8" iron rod with Purple plastic cap stamped, "RPLS 6451" set in the west line of Lot 48, of said Addition, same being the beginning of a curve to the left, having a radius of 1166.44 feet, and a chord which bears South 44 degrees 37 minutes 09 seconds East, for 314.49 feet;

THENCE Southeasterly, along said curve to the left, through a central angle of 15 degrees 29 minutes 42 seconds, for an arc length of 315.45 feet, to a 5/8" iron rod with Purple plastic cap stamped, "RPLS 6451" set in the west line of Lot 53, of said Addition, same being the northeast corner of Lot 7B-A, Block C, of Lot 7, Block C of Cedar Hill Crossing Addition, recorded in Volume 2002144, Page 78, Deed Records, Dallas County, Texas;

THENCE South 36 degrees 53 minutes 40 seconds West, for a distance of 460.78 feet, to a 1/2" iron rod found for the northwesterly corner of Lot 7A-R, Block C, of said Addition, same being in the easterly right-of-way line of Showcase Drive (60' R.O.W.), further being the beginning of a curve to the left, having a radius of 50.00 feet, and a chord which bears South 71 degrees 53 minutes 52 seconds West, for 78.76 feet;

THENCE Southwesterly, along said curve to the left and along said Showcase Drive, through a central angle of 103 degrees 55 minutes 33 seconds, for an arc length of 90.69 feet, to a 1/2" iron rod found in said right-of-way, same being in the easterly line of Lot 6, Block C, of aforementioned CEDAR HILL CROSSING ADDITION;

THENCE North 35 degrees 10 minutes 10 seconds West, for a distance of 943.16 feet, to a capped iron rod found for an easterly corner of Lot 4, Block C, of said Addition;

THENCE North 13 degrees 51 minutes 25 seconds East, for a distance of 702.88 feet to the POINT OF BEGINNING and containing 522,483 square feet or 11.995 acres of land, more or less.